

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
JULY 28, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

(III) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(IV) CONSENT AGENDA

- (2) Approval of Minutes for the July 14, 2020 Planning and Zoning Commission meeting.

(3) **P2020-028 (HENRY LEE)**

Consider a request by Hellen Byrd of Platinum Construction on behalf of Ron Valk of Saro Partners, LLC for the approval of a Replat for Lot 9, Block A, Bodin Industrial Tract being a 2.21-acre parcel of land identified as Lot 6, Block A, Bodin Industrial Tract, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1491 T. L. Townsend Drive, and take any action necessary.

(V) DISCUSSION ITEMS

(4) **Z2020-030 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breezy Drive, and take any action necessary.

(5) **Z2020-031 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Pat Atkins of KPA Consulting, Inc. on behalf of the owners C. D. T. Rockwall 2017, LLC for the approval of a Zoning Amendment to Planned Development District 79 (PD-79) [Ordinance No. 16-39] for the purpose of amending the development standards contained in Ordinance No. 16-39 for a 70.408-acre tract of land identified as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

(6) **Z2020-032 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Erick Cruz Mendoza for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.165-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

(7) **P2020-029 (DAVID GONZALES)**

Discuss and consider a request by DR Horton – Texas, LTD on behalf of DMDS Land Company, LLC for the approval of a Preliminary Plat for River Rock Trails, Phase 1A Addition being a 35.28-acre portion of a larger 1,225.721-acre tract of land identified as Tract 11 of the F. Baugess Survey, Abstract No. 7, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally north of the intersection of FM-548 and High Plains Trail, and take any action necessary.

(8) **SP2020-012 (DAVID GONZALES)**

Discuss and consider a request by Cody Johnson of Cody Johnson Studio, LLC on behalf of Jose Campos of Hines for the approval of a Site Plan for the amenities center for the Saddle Star Estates Subdivision being a 0.782-acre portion of a larger two (2) acre tract of land identified as Tract 1 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard south of Featherstone Drive, and take any action necessary.

(9) **SP2020-013 (HENRY LEE)**

Discuss and consider a request by Lee Hoffman of Camp Constriction Services on behalf of Yao Wang of WDC Pebblebrook Apartments, LLC for the approval of a Site Plan for the amenities center for the Pebblebrook Apartment Complex being a 11.579-acre parcel of land identified as Lot 1, Block A, Pebblebrook Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1410 S. Goliad Street, and take any action necessary.

(10) **SP2020-015 (HENRY LEE)**

Discuss and consider a request by Nate Colbert on behalf of Proton PRC LTD for the approval of a Site Plan for incidental display in conjunction with retail store with gasoline sales on a 0.483-acre parcel of land identified as a portion of Lot 1 of the Stonebridge Center Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 715 W. Rusk Street, and take any action necessary.

(11) **SP2020-017 (DAVID GONZALES)**

Discuss and consider a request by Jimmy McClintock of HWY 66 Properties, LP for the approval of a Site Plan for an office building on a 0.28-acre parcel of land identified as Lot 2-R, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 407 W. Washington Street, and take any action necessary.

(12) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2020-019: Final Plat for the North Gate Subdivision **(APPROVED)**
- P2020-020: Replat for Lot 33, Block A, Ridgecrest Addition **(APPROVED)**
- Z2020-023: SUP for *Residential Infill Adjacent to an Established Subdivision* for 54 Shadydale Lane **(APPROVED; 1st READING)**
- Z2020-024: Zoning Amendment to Planned Development District 78 (PD-78) **(APPROVED; 1st READING)**
- Z2020-025: SUP for a *General Retail Store and Hair Salon and/or Manicurist* for 507 N. Goliad Street **(APPROVED; 1st READING)**
- Z2020-026: SUP for a *Restaurant with Drive-Through, Less Than 2,000 SF* at 150 Pecan Valley Drive **(WITHDRAWN; 1st READING)**
- Z2020-027: SUP for a *General Retail Store and Banquet Facility/Event Hall* for 803 N. Goliad Street **(APPROVED; 1st READING)**
- Z2020-028: Zoning Amendment to Planned Development District 10 (PD-10) **(APPROVED; 1st READING)**
- Z2020-029: Zoning Change (AG to SFE-2.0) **(APPROVED; 1st READING)**

(VI) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on July 24, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
JULY 14, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

I. CALL TO ORDER

Chairman Eric Chodun called the meeting to order at 6:03 PM. Commissioners present were John Womble, Tracey Logan, Sedric Thomas, Annie Fishman, and Vice-Chairman Jerry Welch. Absent from the meeting was Commissioner Mark Moeller. Staff members present were Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, Planner Henry Lee, Planning and Zoning Coordinator Angelica Gamez, and City Engineer Amy Williams. Absent from the meeting were Civil Engineers Jeremy White and Sarah Johnston.

II. OPEN FORUM

Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward, Chairman Chodun closed the open forum.

III. CONSENT AGENDA

1. Approval of Minutes for the June 9, 2020 Planning and Zoning Commission meeting.

2. Approval of Minutes for the June 30, 2020 Planning and Zoning Commission meeting.

3. P2020-022 (DAVID GONZALES)

Consider a request by Ryan Joyce of Northgate Rockwall LD, LP for the approval of a Final Plat for the Northgate Subdivision being a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodghill Road [FM-3549] and Clem Road, and take any action necessary.

4. P2020-027 (HENRY LEE)

Consider a request by Brandon Davidson of Corwin Engineering, Inc. on behalf of Paul Taylor of Paul Taylor Homes Limited for the approval of a Replat for Lot 33, Block A, Ridgecrest Addition being a 0.3017-acre parcel of land identified as Lot 24, Block A, Ridgecrest Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 81 (PD-81) for Single-Family 10 (SF-10) District land uses, addressed as 2605 Cypress Drive, and take any action necessary.

Commissioner Logan made a motion to approve the consent agenda. Commissioner Womble seconded the motion which passed by a vote of 6-0, with Commissioner Moeller absent.

IV. PUBLIC HEARING ITEMS

5. Z2020-023 (RYAN MILLER)

Hold a public hearing to discuss and consider a request by James Best for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane, and take any action necessary.

Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. The applicant is requesting a Specific Use Permit for a Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home. According to the Unified Development Code (UDC), all proposed residential infill housing that is in or adjacent to an Established Subdivision requires a Specific Use Permit (SUP). In this case, an established subdivision is defined as any subdivision that consists of five (5) or more lots, is more than 90% developed, and has been in existence for more than 10 years. The subject property is adjacent to Fox Chase subdivision Phase I, and Phase 10 & 19 of the Chandlers Landing subdivision. The Planning and Zoning Commission are tasked with considering the proposed size, location, architecture of the home compared to the existing homes in the established subdivision. The property in this case is removed from any of the established subdivisions. This is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. With this being a zoning case, notices were sent out to 82 property owners/residents within 500 feet of the subject property. Homeowners Associations (HOAs) in Benton Woods, Chandlers Landing, Rainbow Lakes, and Fox Chase were notified as well as they were the only HOAs within 1,500 feet of the subject property. Mr. Miller advised the Commission that the applicant and Staff were present and available to answer questions.

Chairman Chodun asked the applicant to come forward.

58 James Best/ Kimberly Best
59 7235 S. FM 549
60 Heath, TX 75032

61
62 The applicant came forward and stated that they look forward to their new house and moving to Rockwall.

63
64 Chairman Chodun opened the public hearing and asked if anyone wished to speak to come forward and do so at this time.

65
66 Chris Cuny
67 4730 Pin Oaks Circle
68 Rockwall, TX 75032

69
70 Mr. Cuny came forward and expressed his approval of the request.

71
72 Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

73
74 Commissioner Thomas made a motion to approve item Z2020-023. Commissioner Womble seconded the motion which passed by a vote
75 of 6-0.

76
77 Chairman Chodun advised the applicant that the case will go before the City Council on July 20, 2020.

78
79 6. **Z2020-024 (RYAN MILLER)**

80 Hold a public hearing to discuss and consider a request by Chris Cuny, PE of Teague, Nall & Perkins on behalf of the Nick
81 DiGiuseppe of Discovery Lakes, LLC for the approval of a Zoning Amendment to Planned Development District 78 (PD-78)
82 [*Ordinance No. 15-24*] for the purpose of changing the concept plan and development standards on a 316.315-acre tract of land
83 identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No. 16, City of
84 Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR) District and Single-
85 Family 10 (SF-10) District, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road, and take any
86 action necessary.
87

88 Planning and Zoning Director Ryan Miller provided a brief summary of the request. The applicant is requesting to amend the Planned
89 Development (PD) and change the concept plan. The current PD allows for nine (9) acres of non-residential land uses, 11-acre public park,
90 30+ acres of open space, 62 acres of flood plain, and 203 acres of residential land area. The residential land area consists of 3 different lot
91 product types: 121, 80' x120' foot lots; 127, 70' x 110' lots; and 259, 60' x 110' lots. The total number of houses allowed in this PD is 507. In
92 his new concept plan, the applicant is wanting to reduce the number of homes down to 428 by creating a new larger lot product. This would
93 increase the size of the 80' lots to 80' x 200' lots, with a minimum square footage size of 32,670 square feet. Other changes in the planned
94 development include removing the 11-acre park, and reducing the trail system by 1.2 miles of trail. The applicant has also agreed to increase
95 the anti-monotony standards to the City's current anti-monotony standards and change the fence standards to the current fence standards.
96 Mr. Miller explained that the applicant would be required to improve half the roadway of Rochelle Road and also build all of Discovery Blvd.
97 from the point of Rochelle Road to the point where the property kind of splits. They are also responsible for a 16-inch water line along 276
98 and a 12-inch along Rochelle Road, and a 12-inch along Discovery Blvd. The waste water is currently being studied by the City at the Sabine
99 Creek Plant. When this PD originally came thru, it was granted a waiver to allow flat front entry garages. Lot type A was granted 40% flat front
100 entry, Lot type B was granted 33% flat front entry, and Lot type C was granted 67% flat front entry. As a compensatory measure, the applicant
101 has agreed to meet the 25-foot setback that is currently called out in the Comprehensive Plan for flat front entry garages. The area where
102 they are not conforming to the City's code is relating to roof pitch. As a compensatory measure, they have increased the masonry percentage
103 in the planned development district. Another subject area not meeting the code would be the onsite sewage facilities. They are requesting
104 to provide OSSF septic systems on Lot type A to go ahead and start construction while they're waiting on the study results to come back
105 from Sabine Creek. Currently, the City does not operate its own septic program as it has an Interlocal Agreement with Rockwall County to
106 inspect all onsite sewage. City Council has granted the use of OSDF systems in the past but only on lots greater than an acre. However, they
107 have stipulated three requirements: The OSSF must be designed by a professional, they must stamp and sign a copy of the OSSF Plan and
108 have that be submitted to the Building Inspections department at the time of permitting, and have the OSSF systems inspected by a City
109 approved Inspector, which again would be up to the County. The applicant would be meeting all three of those standards along with three
110 other standards basically ensuring that the required sewer infrastructure will be provided with each phase regardless if OSSFs are approved.
111 The second provision is that all homes are to be constructed with a secondary connection to make it easier to disconnect OSSFs and connect
112 with the sewage system-this would be done at the owner's expense. The third and final provision is that a disclosure will be provided in the
113 closing paperwork for each lot stating that the property owner will be responsible for connecting to the sanitary sewer and paying impact
114 fees at the sole cost of the homeowner. The applicant has addressed most of Staff's recommendations, specifically we asked them to
115 incorporate the new fence and anti-monotony requirements. We also asked that they take the lots fronting onto the boulevard, which was
116 established at the work session but does not show on the concept plan. They did, however, bump the front yard setback to 25 feet which
117 would create more separation off the roadway. This case is a discretionary decision for the Planning and Zoning Commission and City
118 Council and, with it being a zoning case, staff sent out 13 notices to everybody within 500 feet of the subject property. The Timber Creek HOA
119 was the only association notified and located within 1,500 feet of the property. Mr. Miller advised the Commission that the applicant and Staff
120 were present to answer questions.

121
122 Commissioner Womble requested further elaboration in regards to the roof pitch requirement and how it was going to be modified.

123
124 Commissioner Logan wanted clarification on which lots needed the septic systems and what the City would provide for those back lots.

125
126 Commissioner Fishman asked about the transition of the lots and wanted explanation in regards to the systems left underground. She also
127 asked if there would be any concerns using the systems on lots less than an acre since the City hadn't done it before.
128

129 Commissioner Thomas asked how much impact fees would be once sewer is available.
130

131 Commissioner Womble asked if we had deferred the impact fees to other homeowners. Mr. Miller replied that the City cannot charge fees to
132 the homeowner until they've impacted the system.
133

134 Chairman Chodun asked the applicant to come forward.
135

136 Chris Cuny
137 2 Horizon Court
138 Heath, TX 75032
139

140 Mr. Cuny came forward and provided further details in regards to his request. He explained that his intent is not to do the old fashioned septic
141 systems but rather the aerobic systems with the drip irrigation. With a drip irrigation system, the system will evaporate but won't spray. He
142 indicated that they are waiting on the results from the lab at NTMWD to explain what the cost is and what the route is to go to the Sabine
143 Creek. He stated that they expected the results to be expensive. The developers are wanting to get something started on the project and he
144 reiterated that these homes would be in the \$750,000- \$1 million range. Mr. Cuny told the Commission that he has worked on areas in and
145 out of the City and they have been less than acre and the systems do still work and they meet all of the TCQ standards.
146

147 City Engineer Amy Williams advised the Commission that the impact fees would differ depending on the meter size. For larger lots, a 1-inch
148 meter is normally used, and would cost the homeowner over \$6,000 on impact fees. If the homeowner goes to a 5/8 meter, the cost would
149 \$2,400.
150

151 Chairman Chodun opened the public hearing and asked if anyone wishing to speak to do so at this time.
152

153 Dan Winstead
154 1631 Chesterwood Drive
155 Rockwall, TX 75032
156

157 Mr. Winstead came forward and asked if the applicant have a time frame for when they expect the septic survey back and what are the costs
158 of waiting for it to come back? City Engineer Amy Williams answered that the draft should be back anytime now.
159

160 Chairman Chodun asked if there were any other questions; there being none, Chairman Chodun closed the public hearing and brought the
161 item back to the Commission for discussion or action.
162

163 Commissioner Womble asked if it was a bit premature to vote on this item since the report is expected back any day now. The applicant
164 replied that they were going to put sewer in regardless but there would be some issues that take time since neither studies nor permits had
165 been approved yet. Commissioner Womble stated that some of them may be okay with the decision be temporary but not permanent.
166

167 Commissioner Logan stated she did a bit of research and wanted to know if it matters about what the natural ground is. Mr. Cuny explained
168 that the soil does not matter because the top layer is completely excavated and will cause the water to evaporate. She added that the grass
169 seemed very green and healthy and had no odor at all.
170

171 Vice-Chairman Welch explained that he had some concerns and was not comfortable with the plan.
172

173 Commissioner Logan made a motion to approve item Z2020-024. Commissioner Fishman seconded the motion which passed by a vote of 5-
174 1, with Vice-Chairman Welch dissenting.
175

176 7. Z2020-025 (RYAN MILLER)

177 Hold a public hearing to discuss and consider a request by Hallie Fleming for the approval of a Specific Use Permit (SUP) for a
178 General Retail Store and Hair Salon and/or Manicurist on a 0.2254-acre parcel of land identified as Lot 1, Block A, Artventures
179 Studio Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office
180 (RO) District, addressed as 507 N. Goliad Street, and take any action necessary.
181

182 Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. He explained that the business is operating
183 under an existing Specific Use Permit (SUP) but that the business has evolved over time incorporating a hair salon and retail products.
184 The original SUP was issued in 2013 and, as part of that, they received variances to the parking and paving standards. According to the
185 Unified Development Code, a hair salon and retail sales would require an SUP in this district so amending the SUP doesn't change the
186 function of the property but instead brings her into conformance with the current codes. Mr. Miller advised the Commission that the
187 applicant and Staff were present and available to answer questions.
188

189 Chairman Chodun asked the applicant to come forward.
190

191 Hallie Fleming

192 507 N. Goliad Street
193 Rockwall, TX 75087

194
195 Mrs. Fleming came forward and provided further details in regards to the request.
196

197 Chairman Chodun opened the public hearing and asked anyone wishing to speak to come forward at this time. There being no one
198 indicating such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.
199

200 Vice-Chairman Welch made a motion to approve item Z2020-025 with staff recommendations. Commissioner Thomas seconded the motion
201 which passed by a vote of 6-0.
202

203 Chairman Chodun advised the applicant that the case will go before the City Council on July 20, 2020.
204

205 8. Z2020-026 (DAVID GONZALES)

206 Hold a public hearing to discuss and consider a request by Jake Fears, PE of Wier & Associates, Inc. on behalf of Chad DuBose of
207 JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for *Restaurant with Drive-Through, Less Than 2,000*
208 *SF* on a 2.542-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County,
209 Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay
210 (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.
211

212 Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. The applicant is requesting the approval
213 of a Specific Use Permit for a Restaurant Drive-Thru located in PD-65, in General Retail district. There are some conforming standards
214 associated with a restaurant less than 2,000 square feet with a drive-thru. There are a couple of conditions associated with this such as: a
215 drive-thru lane shall not have access to local residential streets; additional landscaping is required to prevent the impairment of visibility
216 by using headlight screening; and also, they must have a minimum of 6 car stacking, which this is the only condition the applicant meets.
217 This case is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. This
218 project is a limited service restaurant meaning that it does not provide any inside seating. This being a zoning case, 35 notices were sent
219 out and Staff were opposed to the request. Mr. Gonzales advised the Commission that the applicant and staff were present and available
220 for questions.
221

222 Commissioner Womble asked if there was a requirement where they also can't be close to the adjacent properties or if it was possible to
223 have a driveway that complies with everything in this case. Mr. Gonzales answered that it would have to meet the 100-foot distance as
224 well. Commissioner Womble then asked if it was physically possible to meet those 100-foot setbacks. City Engineer Amy Williams
225 answered that there was a huge box culvert and they're kind of constrained at the edge of Pecan Valley due to the floodplain and those
226 culverts.
227

228 Commissioner Logan asked if they could have a driveway on along 205 and if the City currently allows left turns on Pecan Valley. Staff
229 answered that they would not be able to have the driveway along there and that the City does allow left turns on Pecan Valley. She also
230 asked if there were any concerns with the traffic that would be generated there.
231

232 Chairman Chodun asked City Engineer Amy Williams if Quail Run could handle that kind of traffic to which Ms. Williams answered that
233 yes they could. Chairman Chodun then asked what the future landing map shows regarding this property and it shows it to be commercial
234 retail.
235

236 Chairman Chodun asked the applicant to come forward.
237

238 Casey Orr
239 121 S. Main Street
240 Henderson, TX 75654
241

242 The applicant came forward and provided further details in regards to the request. Ms. Orr realized that there were several easements on
243 the site plan that was submitted and the lift station had been removed. She added that, as this project moves forward, she would like to
244 coordinate with the City to see if any of those easements had been abandoned and help clean up the site. She also would like to add more
245 landscaping along the street.
246

247 Vice-Chairman Welch wanted confirmation as to what kind of business would take place there since there had been talks about it being a
248 Smoothie King. Ms. Orr explained that they are meeting the City's stacking requirements and, out of respect to the client, could not disclose
249 what type of business it would be. She was only allowed to say that it was a reputable smoothie or coffee franchise with no seating inside
250 and no tables out front.
251

252 Commissioner Womble asked if the permit's use could be limited based on the franchise but Mr. Miller stated that we can only limit it
253 based on land use. He mentioned that the way the SUP is set up is that the business must be a limited service. Mr. Miller did point out that
254 the applicant's site had gotten bigger going from 700 square feet to 1250 square feet.
255

256 Ms. Orr explained that they designed as big a building as they thought would fit and they were hoping to utilize some of the parking spaces
257 on the site to the north. She added that the applicant was hopeful that they would be able to share parking spaces if necessary.
258

259 Mr. Miller added that the City would not consider shared parking because that meant using public right-of way to access the restaurant
260 and it was a safety issue.

261
262 Chairman Chodun opened up the public hearing and asked anyone wishing to speak to come forward at this time.

263
264 Lanty Dean
265 216 W. Quail Run Rd.
266 Rockwall, TX 75087

267
268 Mr. Dean came forward and expressed his disapproval of the loss of the trees and opposition to the request overall.

269
270 Michael Hunter
271 220 W. Quail Run Road
272 Rockwall, TX 75032

273
274 Mr. Hunter came forward and explained his concerns and opposition of the request due to traffic.

275
276 Trent Hyde
277 218 W. Quail Run Road
278 Rockwall, TX 75087

279
280 Mr. Hyde came forward and expressed his opposition of the request due to traffic.

281
282 Bob Wacker
283 309 Featherstone
284 Rockwall, TX 75087

285
286 Mr. Wacker came forward and hoped that there would be some trees left when the project is done. He also expressed his opposition to the
287 request due to the traffic that would develop. He asked that if the request did pass then to please insist on landscaping to hide the
288 dumpster.

289
290 Dan Winstead
291 1631 Chesterwood Drive
292 Rockwall, TX 75087

293
294 Mr. Winstead came forward and asked if the applicant had a business plan showing peak times that customers would be going to the
295 restaurant.

296
297 Chairman Chodun asked if there were any other questions; there being none he closed the public hearing and called the applicant forward
298 to address comments.

299
300 Ms. Orr came forward and stated she appreciated the feedback. She also added that she could create a trip generation report to study peak
301 hours and weekday.

302
303 Chairman Chodun brought the item back to the Commission for discussion or action.

304
305 Vice-Chairman Welch asked if they could restrict the size of the main building as a part of the SUP and if parking could be tied up to the
306 parking lot to the north.

307
308 Commissioner Fishman stated that she feels they do not have enough information to make the decision.

309
310 Commissioner Thomas agreed with Commissioner Fishman and said that if the applicant were to show more plans and explain what the
311 business will be to help ease some of the concerns.

312
313 Chairman Chodun agreed with them both and expressed his traffic concerns.

314
315 Commissioner Fishman made a motion to deny item Z2020-026. Commissioner Logan seconded the motion to deny which passed by a
316 vote of 5-1 with Vice-Chairman Welch dissenting.

317
318 Mr. Gonzales added that with the recommendation of denial, the item must have a $\frac{3}{4}$ majority vote from City Council in order to move
319 forward.

320
321 9. Z2020-027 (RYAN MILLER)

322 Hold a public hearing to discuss and consider a request by Leslie & Scott Milder for the approval of a Specific Use Permit (SUP) for
323 a General Retail Store and Banquet Facility/Event Hall on a 0.66-acre parcel of land identified as Lot 1, Block A, Our House Addition,
324 City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District,
325 situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 803 N. Goliad Street, and take any action
326 necessary.

328 Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. In 2015, the subject property received a
 329 SUP allowing for a banquet facility known as Our House. The applicant is requesting the approval of a SUP to supersede the current SUP
 330 ordinance and establish a new one allowing a general retail store and banquet facility. The banquet would still be operated in the same
 331 manner but the general retail store that would be added to the property would be a cigar store. According to the Unified Development
 332 Code, both of these land uses require a specific use permit in the Residential Office District. As part of the original approval, the applicant
 333 was granted a waiver to defer the construction of the 24-foot cross axis easement. However, this was delayed until the property to the
 334 southwest changes their zoning to a Commercial zoning and site plans that and converts it to a non-residential land use from a residential
 335 land use. Due to the fact that this was tied into the original SUP, it was carried over into this additional ordinance which is a condition of
 336 approval. This request is discretionary to the Planning and Zoning Commission with the only change being the addition of the general
 337 retail store. Staff sent out notices to the property owners and residents within 500-feet of the subject property and received three (3) back
 338 in favor of the request. Mr. Miller advised the Commission that the applicant and staff were present and available for questions.

339
 340 Chairman Chodun asked the purpose was for having the cross-axis easements.

341
 342 Vice-Chairman Welch asked if smoking was approved inside the cigar shop and they are as long as they provide ash trays.

343
 344 Commissioner Fishman asked for the hours of operation. They are Monday thru Sunday 7am-8pm.

345
 346 Chairman Chodun asked the applicant to come forward.

347
 348 Kurt Naumann
 349 168 Stoneleigh Drive
 350 Heath, TX 75032

351
 352 The applicant came forward and showed a couple of short videos in regards to his request.

353
 354 Commissioner Fishman wanted further clarification in regards to the usage of the banquet facility at the same time as having the
 355 retail store open. She also asked if alcohol was permitted but it would not be.

356
 357 Chairman Chodun opened the public hearing and asked anybody wishing to speak to come forward at this time.

358
 359 Jon Hickerson
 360 506 Wildwood Terrace
 361 Rockwall, TX 75087

362
 363 Mr. Hickerson came forward and expressed his opposition of the request due to traffic.

364
 365 Chairman Chodun asked if anyone else wished to speak; there being no one, Chairman Chodun closed the public hearing and brought
 366 the item back to the Commission for discussion or action.

367
 368 Vice-Chairman Welch made a motion to approve item Z2020-027 with staff recommendations. Commissioner Fishman seconded the
 369 motion which passed by a vote of 6-0.

370
 371 Chairman Chodun advised the applicant that the case will go before the City Council on July 20, 2020.

372
 373 10. Z2020-028 (RYAN MILLER)

374 Hold a public hearing to discuss and consider a request by Lucas Altoe on behalf of STAR Hubbard, LLC for the approval of a
 375 Zoning Amendment to Planned Development District 10 (PD-10) for the purpose of allowing an office on a 32.6546-acre parcel of
 376 land identified as Lot 1, Block A, Mansions Family Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development
 377 District 10 (PD-10) for Multi-Family 14 (MF-14) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV)
 378 District, addressed as 1650 S. John King Boulevard, and take any action necessary.
 379

380 Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. He mentioned that there is a
 381 clubhouse/workout facility on the development along with a space where a spa ended up operating out of. The spa was never issued a
 382 Certificate of Occupancy and eventually it went out of business. The applicant contacted Staff to ask about where land uses were applicable
 383 and, unfortunately, only multi-family uses were available. He was looking to establish a co-working space, which required a change to the
 384 entire Planned Development District. The only thing being requested with this case is to allow an office or co-working space. Should this
 385 request and zoning change be approved then the applicant must apply for a Certificate of Occupancy for the business. Staff sent out
 386 notices to all property owners and residents within 500-feet and all Homeowners Associations within 1500-feet. Mr. Miller then advised the
 387 Commission that the applicant and Staff were present and available for questions.

388
 389 Commissioner Womble asked if the co-working space would be for the residents of the facility or open to the public as well. Mr. Miller
 390 replied that it would be open to the general public.

391
 392 Chairman Chodun asked if there was an age restriction to the residents there.

393 Chairman Chodun opened the public hearing and asked anyone wishing to speak to come forward at this time.

394
395
396 Russell Darrington
397 1028 Redwood Trail
398 Rockwall, TX 75087
399

400 Mr. Darrington came forward and stated that he wanted to see if his business would be permissible for this type of environment. His
401 business would consist of having an outpatient office and using the fitness space as well.

402
403 Mr. Miller explained that that would not be a permitted use in a co-working space because that would be a medical office use. Permitted
404 uses would consist of renting out offices for work and does not qualify as a medical usage since that requires a higher ratio. Staff does
405 not have the ability to amend the request without the applicant's say so, therefore, Staff is required to take this item forward.

406
407 Dan Winstead
408 1631 Chesterwood Drive
409 Rockwall, TX 75087
410

411 Mr. Winstead came forward and wanted clarification as to the applicant wanting to use the existing building without having any
412 construction take place. He also asked if there was any traffic estimation but Mr. Miller explained that the property is already over parked
413 for the facility so it should not be an issue.

414
415 Russell Darrington
416 1028 Redwood Trail
417 Rockwall, TX 75087
418

419 Mr. Darrington came forward once again and wanted clarification in regards to parking.

420
421 Chairman Chodun asked if anyone else wished to speak; there being no one doing such, Chairman Chodun closed the public hearing and
422 brought the item back to the Commission for discussion or action.

423
424 Commissioner Womble expressed being in favor of the request. Commissioner Thomas explained that it was a smart idea as well.

425
426 Commissioner Thomas made a motion to approve item Z2020-028. Commissioner Womble seconded the motion which passed by a vote
427 of 5-1, with Chairman Chodun dissenting.

428
429 11. Z2020-029 (DAVID GONZALES)

430 Hold a public hearing to discuss and consider a request by Donald and Cathy Wallace for the approval of a *Zoning Change* from an
431 Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for a two (2) acre tract of land identified as a portion of
432 Tract 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District,
433 generally located northeast of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.
434

435
436 Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. The applicant is requesting the zoning
437 change from Agricultural (AG) District to Single-Family Estate 2.0 (SFE-2.0) for the purpose of constructing a home on a 2-acre piece of
438 land. There are some infrastructure requirements that will be taken care of during the final plat as well as sewer improvements that the
439 applicant will have to do such as installing an OSSF system for the property. Staff sent out eight (8) notices to homeowners and residents
440 within 500-feet but did not receive any back. Mr. Gonzales then advised the Commission that the applicant and Staff were present and
441 available for questions.

442 Chairman Chodun asked the applicant to come forward

443
444 Cathy Wallace
445 338 Wallace Lane
446 Rockwall, TX 75032
447

448 Mrs. Wallace came forward and explained her reasoning for coming before the Commission again.

449
450 Chairman Chodun opened the public hearing and asked anyone wishing to speak to come forward at this time; there being no one doing
451 such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

452
453 Commissioner Thomas made a motion to approve item Z2020-029 with staff recommendations. Commissioner Fishman seconded the
454 motion which passed by a vote of 6-0.
455

456 V. ACTION ITEMS

457
458 12. SP2020-010 (DAVID GONZALES)

459 Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Adat Estate of Vats Akhil and Deepti for the
460 approval of a Site Plan for a *medical office building* on a 0.70-acre parcel of land being identified as Lot 6, Block A, Ellis Centre #2
461 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV)
462 District, located at the western corner of the intersection of Alpha Drive and Beta Drive, and take any action necessary.
463

464 Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. The applicant is coming forward to
465 request the approval of a site plan for a medical office facility about 7,200 square feet. With the exception of the variances being requested,
466 the submitted site plan, landscape plan, photometric plans, and building elevations generally conform to the technical requirements in the
467 districts. The applicant is required to screen LI property from the Residential use property with a minimum of a 6-foot high masonry
468 screening with canopy trees planted on 20-foot centers. As an alternative, the Commission can consider a wrought iron fence and a three
469 tiered screening along the rear property line. At the moment, there are four (4) variances associated with the request: horizontal
470 articulation, architectural standards (four sided architecture), screening from the residential, and maximum slope for a detention pond. To
471 offset the variances and as a condition of approval, the applicant is required to screen the detention system with a combination of trees
472 and shrubs which would cause him to revise the landscape plans. According to the UDC, an applicant may request the Planning and
473 Zoning Commission to grant an exception to any provisions portrayed in the General Overlay District standards. In this case, the applicant
474 shall provide compensatory measures that directly offset the exceptions and/or variances. The applicant is indicating that they increased
475 landscaping including additional accent trees and shrubs, and increased masonry percentages on the building as well. The Architectural
476 Review Board met two weeks ago and they forwarded a recommendation of approval of the elevations including the variances being
477 requested. Mr. Gonzales advised the Commission that the applicant and Staff were present and available for questions.
478

479 Commissioner Womble wanted explanation as to why they could not meet articulation on the back side of the building.
480

481 Chairman Chodun asked the applicant to come forward.
482

483 Greg Wallis
484 1520 E. I-30
485 Rockwall, TX 75087
486

487 Mr. Wallis came forward and provided additional details regarding his request as well as an explanation in regards to the articulation.
488

489 Vice-Chairman Welch made a motion to approve item SP2020-010 with staff recommendations. Commissioner Thomas seconded the
490 motion which passed by a vote of 6-0.
491

492 13. SP2020-011 (DAVID GONZALES)

493 Discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Ed Burke of Channell Commercial
494 Corporation for the approval of an Amended Site Plan for an existing industrial building on an 18.762-acre parcel of land identified
495 as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District,
496 situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action
497 necessary.
498

499 Planning and Zoning Manager David Gonzales provided a brief summary and history in regards to the request. The applicant is
500 requesting an amended site plan that has three (3) variances associated with it. Back in July 2014, a site plan was approved by City
501 Council that contained variances on parking, building materials, building articulation, lighting, and landscaping. The same site plan
502 came before the Commission last year in December and it was to establish some areas for their outside storage around the facility, as
503 well to realign the western drive, and layout additional parking for the structure. The applicant is coming back with Phase II which is on
504 the western portion of the property and has provided a landscape plan. Due to this area being a Light Industrial District, there are
505 residential fence standards that indicate that a non-residential area cannot have a front yard fence. The fence they are providing is an
506 8-foot tall smooth concrete wall adjacent to Justin Blvd., and on the northern side of the area there will be a wrought iron fence with
507 landscaping spaced out at 20-foot centers to provide the screening with a vinyl coated chain link fence. The non-residential fence will
508 be a discretionary decision to the Planning and Zoning Commission and one that the applicant is requesting. According to the Unified
509 Development Code, any outside storage of materials are supposed to be screened from the public view and the screening has to be at
510 least a foot taller than what is being screened as well. This will then require a masonry fence with trees on 20-foot centers. In this case
511 the applicant is requesting a smooth concrete wall that will match the building, with the purpose being to match what is already existing
512 there. Back in 2014, the City Council did approve a smooth face for what they have out there on the property now. On the north side of
513 the property, the applicant is proposing to use Nellie R. Stevens in order to screen that portion of the storage area. The outside storage
514 requirements call for the Planning and Zoning Commission to consider an alternative screening method such as a wrought iron fence
515 with three tiered screening, or a wrought iron fence and 2 rows of staggered evergreen trees and one row of canopy trees. Also, they
516 have included a drive approach on the western side along Industrial Boulevard which will be tied in with the existing fire lane. According
517 to the Engineering Standards of Design, when you have a collector then they require 200 feet of spacing and the proposed drive
518 approach now is 111 feet. Staff wanted to point out that there will be limited access for the new drive due to it being a gated drive
519 approach. Staff is recommending that they use a wrought iron fence instead of an opaque one. Mr. Gonzales reminded the Commission
520 that the distance requirements are also a discretionary decision to the Commission. The majority of the applicant's exceptions/requests
521 are to maintain the general aesthetic already established on the property. They are the driveway spacing, the screening standards and
522 the front yard fencing are all discretionary decisions for the Commission and $\frac{3}{4}$ majority vote is required to approve the request. Mr.
523 Gonzales then advised the Commission that the applicant and Staff were present to answer questions.
524

525 Chairman Chodun asked the applicant to come forward

526
527 Mark Cross
528 5310 Harvest Hill Road
529 Dallas, TX 75230
530

531 Mr. Cross came forward and provided additional details in regards to this request. He explained that there may be plans for a future
532 building but, in the meantime, they wanted to take advantage of the site and the outside storage. He explained that he requested a
533 concrete wall to match what was already existing but he would talk to the owner about doing a decorative gate to get the item approved.
534 He also added that due to the site on the west narrowing down then it does not leave them with enough room to meet the current
535 standards. He then advised that he was available for questions.
536

537 Planning and Zoning Director Ryan Miller told the applicant that there was a wall along Industrial Blvd. that needed to be moved back
538 due to there being a 30-inch NTMWD line.
539

540 Commissioner Womble wanted further clarification as to the necessity of the drive on the west side. He also asked if they could vote on
541 the items separately to which Mr. Miller indicated they could.
542

543 The Planning and Zoning Commission decided to vote on the items individually.
544

545 Commissioner Womble made a motion to deny the driveway spacing in item SP2020-011. Commissioner Thomas seconded the motion
546 which passed by a vote of 5-1, with Vice-Chairman Welch dissenting.
547

548 Commissioner Womble made a motion to approve the screening standards on item SP2020-011 with staff recommendations.
549 Commissioner Thomas seconded the motion which passed by a vote of 6-0.
550

551 Commissioner Womble made a motion to approve the front-yard facing fence on item SP2020-011. Commissioner Thomas seconded
552 the motion which passed by a vote of 6-0.
553

554 Commissioner Womble made a motion to approve the site plan on SP2020-011. Commissioner Thomas seconded the motion which
555 passed by a vote of 6-0.
556

557 VI. DISCUSSION ITEMS
558

559 14. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
560

- 561 ✓ P2020-023: Replat for Lot 2, Block A, Rockwall Law Enforcement Center Addition [APPROVED]
- 562 ✓ P2020-024: Replat for Lots 7 & 8, Block A, Maverick Ranch Addition (APPROVED)
- 563 ✓ P2020-025: Replat for Lots 4 & 5, Block A, Washington Place Addition (APPROVED)
- 564 ✓ P2020-026: Replat for Lot 24, Block A, La Jolla Pointe, Phase 2 Addition (APPROVED)
- 565 ✓ Z2020-018: SUP for *Residential Infill Adjacent to an Established Subdivision* for 1055 Dalton Road (APPROVED; 2ND READING)
- 566 ✓ Z2020-019: SUP for *Residential Infill in an Established Subdivision* for 247 Chris Drive (APPROVED; 2ND READING)
- 567 ✓ Z2020-020: SUP for a *Guest Quarters/Secondary Living Unit and Carport* for 1308 Ridge Road (APPROVED; 2ND READING)
- 568 ✓ Z2020-022: SUP for a *Detached Garage* for 803 Kernodle Street (APPROVED; 2ND READING)

569
570 Planning and Zoning Director Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council
571 meeting.
572

573 VII. ADJOURNMENT
574

575 Chairman Chodun adjourned the meeting at 8:49 PM.
576

577 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this
578 _____ day of _____, 2020.
579

580 _____
581 Eric Chodun, Chairman
582

583 Attest:
584

585 _____
586 Angelica Gamez, Planning and Zoning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 28, 2020
APPLICANT: Hellen Byrd; *Platinum Construction*
CASE NUMBER: P2020-028; *Lot 9, Block A, Bodin Industrial Tract*

SUMMARY

Consider a request by Hellen Byrd of Platinum Construction on behalf of Ron Valk of Saro Partners, LLC for the approval of a Replat for Lot 9, Block A, Bodin Industrial Tract being a 2.21-acre parcel of land identified as Lot 6, Block A, Bodin Industrial Tract, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1491 T. L. Townsend Drive, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting to replat a 2.21-acre parcel of land (*i.e. Lot 6, Block A, Bodin Industrial Tract*) for purpose of establishing one (1) lot (*i.e. Lot 9, Block A, Bodin Industrial Tract*) to allow for the future development of the site into an office/warehouse building.
- The subject property was originally platted as a portion of Lot 1, Block A, Bodin Industrial Tract on August 16, 1979. The current day boundaries of the subject property were established on February 1, 2017 when a replat for Lots 5 & 6, Block A, Bodin Industrial Addition was filed with Rockwall County. On June 11, 2019, the Planning and Zoning Commission approved a site plan [*i.e. Case No. SP2019-018*] for the development of a ~12,080 SF multi-tenant office/warehouse building on the subject property.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 9, Block A, Bodin Industrial Tract*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address T.L. Townsend Drive (street number not assigned)

Subdivision Bodin Industrial Tract

Lot 6

Block A

General Location Northeast Side of intersection of T.L. Townsend Dr and Trowbridge Circle

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning LI

Current Use Vacant

Proposed Zoning N/A

Proposed Use Office/Warehouse

Acreage 2.21

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Saro Partners LLC

Applicant Platinum Construction

Contact Person Ron Valk

Contact Person Hellen Byrd

Address 1450 T.L. Townsend

Address 1450 T.L. Townsend

STE 100

STE 100

City, State & Zip Rockwall, TX 75032

City, State & Zip Rockwall, TX 75032

Phone 972-722-2590

Phone 972-722-2590

E-Mail Ron@platinumtx.com

E-Mail Hellen@platinumtx.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Ronald Valk [Owner] the undersigned, who stated the information on this application to be true and certified the following:

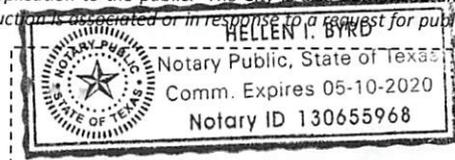
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 344.20, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of April, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16 day of April, 2020.

Owner's Signature

Ronald Valk
Hellen I. Byrd

Notary Public in and for the State of Texas



My Commission Expires

05-10-2020

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/24/2020

PROJECT NUMBER: P2020-028
PROJECT NAME: Lot 6A, Block A, Bodin Industrial Tract
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-771-7740
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/22/2020	Approved w/ Comments
<p>07/22/2020: I.1 Consider a request by Hellen Byrd of Platinum Construction on behalf of Ron Valk of Saro Partners, LLC for the approval of a Replat for Lot 9, Block A, Bodin Industrial Tract being a 2.21-acre parcel of land identified as Lot 6, Block A, Bodin Industrial Tract, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1491 T. L. Townsend Drive.</p> <p>I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.</p> <p>M.3 For reference, include the case number (P2020-028) in the lower right-hand corner of all pages of all revised plan submittals.</p> <p>I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC and the General Commercial District Standards of Article V, that are applicable to the subject property. (§01.02(D), Art. 11, UDC)</p> <p>M.5 Correct Title Block to read as follows: Final Plat Lot 9, Block A, Bodin Industrial Tract Being a replat of Lot 6, Block A, Bodin Industrial Tract Containing a total of 2.21-acres Situated in the Bodin Industrial Tract Additions to the City of Rockwall, Rockwall County, Texas</p> <p>M.6 Correct all mentions of 'Lot 5 & 6, Block A, Bodin Industrial Tract' on all sheets. (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)</p> <p>M.7 Correct all mentions of 'Lot 6A' to 'Lot 9.' (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)</p> <p>M.8 Remove building setbacks if they are not along a street. (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)</p> <p>M.9 Correct for typos in the Owner's Certificate. (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)</p> <p>M.10 Correct Surveyor's Note 4. The property is not zoned Single Family 7 (SF-7). (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)</p> <p>M.11 Relabel all access easements to '24' Firelane, Public Access & Utility Easement (By This Plat)'. (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)</p> <p>M.12 Notary Certificate below Surveyor's Certificate is not necessary when stamped by a Surveyor.</p> <p>M.13 Please email a PDF version for a subsequent/final review by staff. Due to COVID-19, staff is requesting that you do not resubmit paper copies.</p> <p>I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.</p> <p>M.15 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.</p>			

I.16 The Planning and Zoning Meeting will be held on August 11, 2020.

I.17 The City Council meeting for this case is scheduled to be held on August 17, 2020.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/23/2020	Needs Review

07/23/2020: M - Add the label for the 20' drainage easement.

M - Remove "per plat" on all notes.

I - What does the 10' measure on the far west corner of the property?

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	07/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2020	Approved

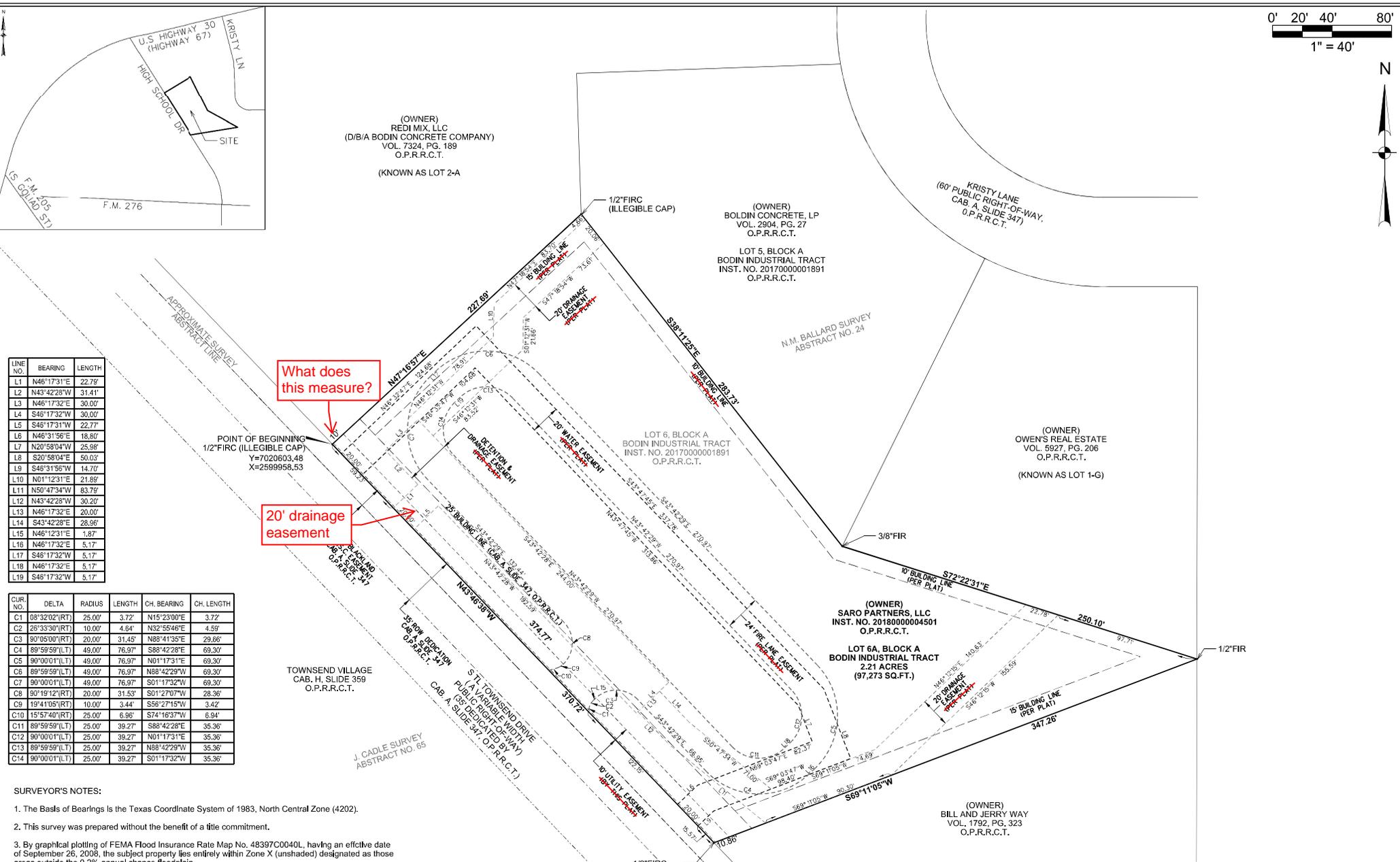
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/21/2020	Approved

07/21/2020: No comments



LINE NO.	BEARING	LENGTH
L1	N46°17'31"E	22.79'
L2	N43°42'28"W	31.41'
L3	N46°17'32"E	30.00'
L4	S46°17'32"W	30.00'
L5	S46°17'31"W	22.77'
L6	N46°31'56"E	18.80'
L7	N20°58'04"W	25.98'
L8	S20°58'04"E	50.03'
L9	S46°31'56"W	14.70'
L10	N01°12'31"E	21.89'
L11	N50°47'34"W	83.79'
L12	N43°42'28"W	30.20'
L13	N46°17'32"E	20.00'
L14	S43°42'28"E	28.96'
L15	N46°12'31"E	1.87'
L16	N46°17'32"E	5.17'
L17	S46°17'32"W	5.17'
L18	N46°17'32"E	5.17'
L19	S46°17'32"W	5.17'

CUR. NO.	DELTA	RADIUS	LENGTH	CH. BEARING	CH. LENGTH
C1	08°32'02"(RT)	25.00'	3.72'	N15°23'00"E	3.72'
C2	28°33'30"(RT)	10.00'	4.64'	N32°56'46"E	4.59'
C3	80°05'00"(RT)	20.00'	31.45'	N88°41'35"E	29.66'
C4	89°59'59"(LT)	48.00'	76.97'	S88°42'28"E	69.30'
C5	90°00'01"(LT)	48.00'	76.97'	N01°17'31"E	69.30'
C6	89°59'59"(LT)	48.00'	76.97'	N88°42'28"W	69.30'
C7	90°00'01"(LT)	48.00'	76.97'	S01°17'32"W	69.30'
C8	80°18'12"(RT)	20.00'	31.53'	S01°27'07"W	28.36'
C9	19°41'05"(RT)	10.00'	3.44'	S56°27'15"W	3.42'
C10	15°57'40"(RT)	25.00'	6.96'	S74°16'37"W	6.94'
C11	89°59'59"(LT)	25.00'	39.27'	S88°42'28"E	35.36'
C12	90°00'01"(LT)	25.00'	39.27'	N01°17'31"E	35.36'
C13	89°59'59"(LT)	25.00'	39.27'	N88°42'29"W	35.36'
C14	90°00'01"(LT)	25.00'	39.27'	S01°17'32"W	35.36'

What does this measure?

20' drainage easement

SURVEYOR'S NOTES:

1. The Basis of Bearings is the Texas Coordinate System of 1983, North Central Zone (4202).
2. This survey was prepared without the benefit of a title commitment.
3. By graphical plotting of FEMA Flood Insurance Rate Map No. 48397C0040L, having an effective date of September 26, 2008, the subject property lies entirely within Zone X (unshaded) designated as those areas outside the 0.2% annual chance floodplain.
4. According to the City of Rockwall Zoning Maps, the subject property is zoned SF-7(Single Family Residential).
5. The purpose of this plat is to replat Lot 6, Block A for development.

LEGEND

O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
FIR	FOUND IRON ROD
FIRC	FOUND IRON ROD WITH CAP
FIP	FOUND IRON PIPE
FX	FOUND "X" CUT
DOC.	DOCUMENT
NO.	NUMBER

OWNER:
SARO PARTNERS, LLC
1450 T L TOWNSEND
ROCKWALL, TEXAS 75032



3410 MIDCOURT RD., STE 110, CARROLLTON, TEXAS 75006
SCALE 1"=40' (972) 243-2409 PROJECT NUMBER: 1742
TBPLS FIRM NO. 10194205

DATED: FEBRUARY 21, 2020 DRAWN BY: JCH

FINAL PLAT
OF
BODIN INDUSTRIAL TRACT
LOT 6A, BLOCK A

BEING A REPLAT OF
LOT 6 OF LOT 5 & LOT 6, BLOCK A, BODIN
INDUSTRIAL TRACT ADDITION
2.21 ACRES OR 96,273 SQUARE FEET
(1 LOT)

AN ADDITION TO THE CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
N.M. BALLARD SURVEY, ABSTRACT NUMBER 24

OWNER DEDICATION:

WHEREAS SARO PARTNERS, LLC ARE THE OWNERS OF A 2.21 acres tract of land situated in the N. M. Ballard Survey, Abstract Number 24, City of Rockwall, Rockwall County, Texas, and being all of Lot 6, Block A of Lot 5 & 6, Block A of Bodin Industrial Tract addition, an addition to the City of Rockwall as recorded in Instrument Number 2017000001891 of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), and being all of that tract of land described in deed to Saro Partners, LLC, as recorded in Instrument Number 2018000004501, O.P.R.R.C.T., and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod with an illegible cap found for the most westerly northwest corner of said Lot 6, said corner being on the northeasterly right-of-way line of T L Townsend Drive (a variable width public right-of-way), said corner also being the most southerly southwest corner of that tract of land described in deed to Redi Mx, LLC (d/b/a Bodin Concrete Company), as recorded in Volume 7324, Page 189, O.P.R.R.C.T.;

THENCE North 47 degrees 16 minutes 57 seconds East, along the northwesterly line of said Lot 6 and southeasterly line of said Bodin tract, a distance of 227.69 feet to a 1/2-inch iron rod with an illegible cap found for the most northerly corner of said Lot 6, and a westerly corner of said Lot 5, said corner being the most southerly southeast corner of said Bodin tract;

THENCE South 38 degrees 11 minutes 25 seconds East, along the northeasterly line of said Lot 6 and said westerly line of Lot 5, a distance of 283.73 feet to a 3/8-inch iron rod found for an angle corner of said Lot 6, and the common south corner of said Lot 5 and the southwest corner of that tract of land described in deed to Owen's Real Estate, as recorded in Volume 5927, Page 206, O.P.R.R.C.T.;

THENCE South 72 degrees 22 minutes 31 seconds East, along the common northeasterly line of said Lot 6 and the south line of said Owen's tract, a distance of 250.10 feet to a 1/2-inch iron rod found for the common most easterly corner of said Lot 6 and the southeast corner of said Owen's tract, said corner also being the most northerly corner of that tract of land described in deed to Bill and Jerry Way, as recorded in Volume 1792, Page 323, O.P.R.R.C.T.;

THENCE South 69 degrees 11 minutes 05 seconds West, along the south line of said Lot 6 and the north line of said Way tract, a distance of 347.26 feet to a 1/2-inch iron rod with a stamped "RPLS 3691" found for the most southerly southwest corner of said Lot 6 and the northwest corner of said Way tract, said corner being on said northeasterly right-of-way line of T L Townsend Road;

THENCE North 43 degrees 46 minutes 38 seconds West, along the southwesterly line of said Lot 6 and said northeasterly right-of-way line, a distance of 370.72 feet to the POINT OF BEGINNING AND CONTAINING 96,273 square feet or 2.21 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the LOT 6A, BLOCK A BODIN INDUSTRIAL TRACT ADDITION subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the Bodin Industrial Addition subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

7. Property owner shall be responsible for all maintenance, repair and reconstruction of drainage and detention systems.

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comply with the present and future growth needs of the City. I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Owner _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 20____.

Notary Public in and for the State of Texas My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, JOEL C. HOWARD, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

JOEL C. HOWARD
Registered Public Surveyor No. 6267

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared JOEL C. HOWARD known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 20____.

Notary Public in and for the State of Texas
My Commission Expires: _____

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date _____

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 20____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 20____.

Mayor, City of Rockwall _____ City Secretary _____

City Engineer _____

OWNER:
SARO PARTNERS, LLC
1450 T L TOWNSEND
ROCKWALL, TEXAS 75032

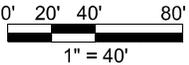
GEONAV
SURVEYING • MAPPING • SCANNING

3410 MIDCOURT RD., STE 110, CARROLLTON, TEXAS 75006
SCALE 1"=40' (972) 243-2409 PROJECT NUMBER: 1742
TBPLS FIRM NO. 10194205

DATED: FEBRUARY 21, 2020 DRAWN BY: JCH

SHEET 2 OF 2

FINAL PLAT
OF
BODIN INDUSTRIAL TRACT
LOT 6A, BLOCK A
BEING A REPLAT OF
LOT 6 OF LOT 5 & LOT 6, BLOCK A, BODIN
INDUSTRIAL TRACT ADDITION
2.21 ACRES OR 96,273 SQUARE FEET
(1 LOT)
AN ADDITION TO THE CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
N.M. BALLARD SURVEY, ABSTRACT NUMBER 24



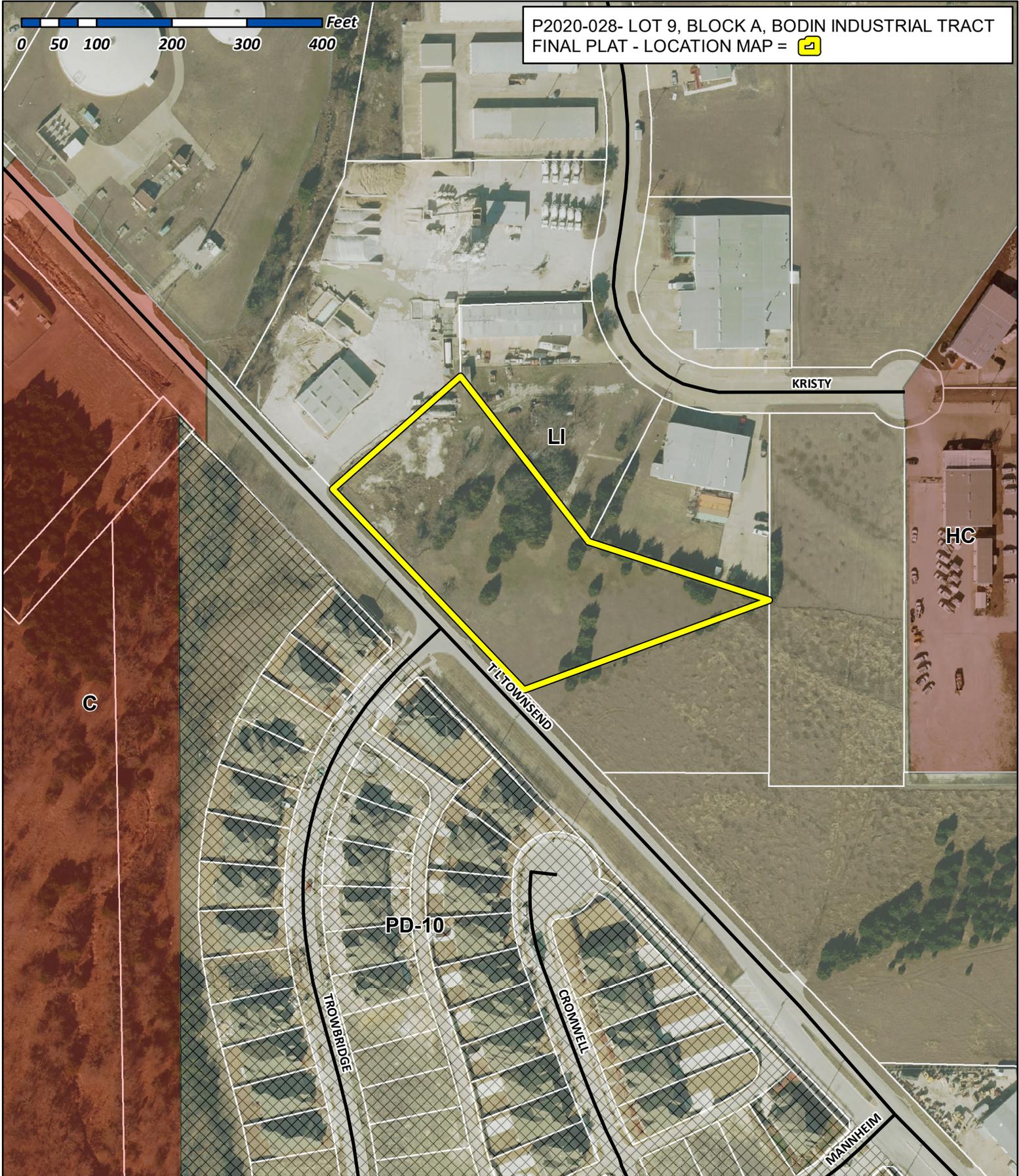
1" = 40'

N





P2020-028- LOT 9, BLOCK A, BODIN INDUSTRIAL TRACT
FINAL PLAT - LOCATION MAP =

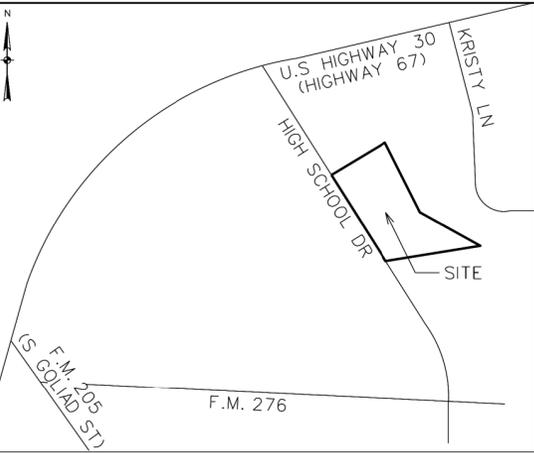


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





(OWNER)
REDI MIX, LLC
(D/B/A BODIN CONCRETE COMPANY)
VOL. 7324, PG. 189
O.P.R.R.C.T.

(KNOWN AS LOT 2-A)

(OWNER)
BOLDIN CONCRETE, LP
VOL. 2904, PG. 27
O.P.R.R.C.T.

LOT 5, BLOCK A
BODIN INDUSTRIAL TRACT
INST. NO. 20170000001891
O.P.R.R.C.T.

(OWNER)
OWEN'S REAL ESTATE
VOL. 5927, PG. 206
O.P.R.R.C.T.

(KNOWN AS LOT 1-G)

(OWNER)
SARO PARTNERS, LLC
INST. NO. 20180000004501
O.P.R.R.C.T.

LOT 6A, BLOCK A
BODIN INDUSTRIAL TRACT
2.21 ACRES
(97,273 SQ.FT.)

(OWNER)
BILL AND JERRY WAY
VOL. 1792, PG. 323
O.P.R.R.C.T.

LINE NO.	BEARING	LENGTH
L1	N46°17'31"E	22.79'
L2	N43°42'28"W	31.41'
L3	N46°17'32"E	30.00'
L4	S46°17'32"W	30.00'
L5	S46°17'31"W	22.77'
L6	N46°31'56"E	18.80'
L7	N20°58'04"W	25.98'
L8	S20°58'04"E	50.03'
L9	S46°31'56"W	14.70'
L10	N01°12'31"E	21.89'
L11	N50°47'34"W	83.79'
L12	N43°42'28"W	30.20'
L13	N46°17'32"E	20.00'
L14	S43°42'28"E	28.96'
L15	N46°12'31"E	1.87'
L16	N46°17'32"E	5.17'
L17	S46°17'32"W	5.17'
L18	N46°17'32"E	5.17'
L19	S46°17'32"W	5.17'

CUR. NO.	DELTA	RADIUS	LENGTH	CH. BEARING	CH. LENGTH
C1	08°32'02"(RT)	25.00'	3.72'	N15°23'00"E	3.72'
C2	26°33'30"(RT)	10.00'	4.64'	N32°55'46"E	4.59'
C3	90°05'00"(RT)	20.00'	31.45'	N88°41'35"E	29.66'
C4	89°59'59"(LT)	49.00'	76.97'	S88°42'28"E	69.30'
C5	90°00'01"(LT)	49.00'	76.97'	N01°17'31"E	69.30'
C6	89°59'59"(LT)	49.00'	76.97'	N88°42'29"W	69.30'
C7	90°00'01"(LT)	49.00'	76.97'	S01°17'32"W	69.30'
C8	90°19'12"(RT)	20.00'	31.53'	S01°27'07"W	28.36'
C9	19°41'05"(RT)	10.00'	3.44'	S56°27'15"W	3.42'
C10	15°57'40"(RT)	25.00'	6.96'	S74°16'37"W	6.94'
C11	89°59'59"(LT)	25.00'	39.27'	S88°42'28"E	35.36'
C12	90°00'01"(LT)	25.00'	39.27'	N01°17'31"E	35.36'
C13	89°59'59"(LT)	25.00'	39.27'	N88°42'29"W	35.36'
C14	90°00'01"(LT)	25.00'	39.27'	S01°17'32"W	35.36'

- SURVEYOR'S NOTES:**
- The Basis of Bearings is the Texas Coordinate System of 1983, North Central Zone (4202).
 - This survey was prepared without the benefit of a title commitment.
 - By graphical plotting of FEMA Flood Insurance Rate Map No. 48397C0040L, having an effective date of September 26, 2008, the subject property lies entirely within Zone X (unshaded) designated as those areas outside the 0.2% annual chance floodplain.
 - According to the City of Rockwall Zoning Maps, the subject property is zoned SF-7(Single Family Residential).
 - The purpose of this plat is to replat Lot 6, Block A for development.

LEGEND

O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
FIR	FOUND IRON ROD
FIRC	FOUND IRON ROD WITH CAP
FIP	FOUND IRON PIPE
FX	FOUND "X" CUT
DOC.	DOCUMENT
NO.	NUMBER

OWNER:
SARO PARTNERS, LLC
1450 T L TOWNSEND
ROCKWALL, TEXAS 75032

GEONAV
SURVEYING • MAPPING • SCANNING

3410 MIDCOURT RD., STE 110, CARROLLTON, TEXAS 75006
SCALE 1"=40' (972) 243-2409 PROJECT NUMBER: 1742
TBPLS FIRM NO. 10194205

DATED: FEBRUARY 21, 2020 DRAWN BY: JCH

SHEET 1 OF 2

FINAL PLAT
OF
BODIN INDUSTRIAL TRACT
LOT 6A, BLOCK A
BEING A REPLAT OF
LOT 6 OF LOT 5 & LOT 6, BLOCK A, BODIN
INDUSTRIAL TRACT ADDITION
2.21 ACRES OR 96,273 SQUARE FEET
(1 LOT)
AN ADDITION TO THE CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
N.M. BALLARD SURVEY, ABSTRACT NUMBER 24

OWNER DEDICATION:

WHEREAS SARO PARTNERS, LLC ARE THE WNER OF A 2.21 acres tract of land situated in the N. M. Ballard Survey, Abstract Number 24, City of Rockwall, Rockwall County, Texas, and being all of Lot 6, Block A of Lot 5 & 6, Block A of Bodin Industrial Tract addition, an addition to the City of Rockwall as recorded in Instrument Number 20170000001891 of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), and being all of that tract of land described in deed to Saro Partners, LLC, as recorded in Instrument Number 20180000004501, O.P.R.R.C.T., and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod with an illegible cap found for the most westerly northwest corner of said Lot 6, said corner being on the northeasterly right-of-way line of T L Townsend Drive (a variable width public right-of-way), said corner also bin the most southerly southwest corner of that tract of land described in deed to Redi Mix, LLC (d/b/a/ Bodin Concrete Company), as recorded in Volume 7324, Page 189, O.P.R.R.C.T.;

THENCE North 47 degrees 16 minutes 57 seconds East, along the northwesterly line of said Lot 6 and southeasterly line of said Bodin tract, a distance of 227.69 feet to a 1/2-inch iron rod with an illegible cap found for the most northerly corner of said Lot 6, and a westerly corner of said Lot 5, said corner being the most southerly southeast corner of said Bodin tract;

THENCE South 38 degrees 11 minutes 25 seconds East, along the northeasterly line of said Lot 6 and said westerly line of Lot 5, a distance of 283.73 feet to a 3/8-inch iron rod found for an angle corner of said Lot 6, and the common south corner of said Lot 5 and the southwest corner of that tract of land described in deed to Owen's Real Estate, as recorded in Volume 5927, Page 206, O.P.R.R.C.T.;

THENCE South 72 degrees 22 minutes 31 seconds East, along the common northeasterly line of said Lot 6 and the south line of said Owen's tract, a distance of 250.10 feet to a 1/2-inch iron rod found for the common most easterly corner of said Lot 6 and the southeast corner of said Owen's tract, said corner also being the most northerly corner of that tract of land described in deed to Bill and Jerry Way, as recorded in Volume 1792, Page 323, O.P.R.R.C.T.;

THENCE South 69 degrees 11 minutes 05 seconds West, along the south line of said Lot 6 and the north line of said Way tract, a distance of 347.26 feet to a 1/2-inch iron rod with ap stamped "RPLS 3691" found for the most southerly southwest corner of said Lot 6 and the northwest corner of said Way tract, said corner being on said northeasterly right-of-way line of T L Townsend Road;

THENCE North 43 degrees 46 minutes 38 seconds West, along the southwesterly line of said Lot 6 and said northeasterly right-of-way line, a distance of 370.72 feet to the POINT OF BEGINNING AND CONTAINING 96,273 square feet or 2.21 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I(we) the undersigned owner(s) of the land shown on this plat, and designated herein as the LOT 6A, BLOCK A BODIN INDUSTRIAL TRACT ADDITION subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the Bodin Industrial Addition subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
 - Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
 - The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
 - The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
 - The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
 - No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
- Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or
- Property owner shall be responsible for all maintenance, repair and reconstruction of drainage and detention systems.

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Owner

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas My Commission Expires:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, JOEL C. HOWARD, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

JOEL C. HOWARD
Registered Public Surveyor No. 6267

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared JOEL C. HOWARD known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas
My Commission Expires:

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 20__.

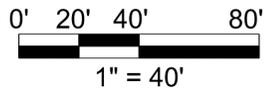
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall City Secretary

City Engineer

OWNER:
SARO PARTNERS, LLC
1450 T L TOWNSEND
ROCKWALL, TEXAS 75032



N



GEONAV
SURVEYING • MAPPING • SCANNING

3410 MIDCOURT RD., STE 110, CARROLLTON, TEXAS 75006
SCALE 1"=40' (972) 243-2409 PROJECT NUMBER: 1742
TBPLS FIRM NO. 10194205

DATED: FEBRUARY 21, 2020 DRAWN BY: JCH

FINAL PLAT
OF
BODIN INDUSTRIAL TRACT
LOT 6A, BLOCK A
BEING A REPLAT OF
LOT 6 OF LOT 5 & LOT 6, BLOCK A, BODIN
INDUSTRIAL TRACT ADDITION
2.21 ACRES OR 96,273 SQUARE FEET
(1 LOT)
AN ADDITION TO THE CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
N.M. BALLARD SURVEY, ABSTRACT NUMBER 24

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/24/2020

PROJECT NUMBER: Z2020-030
PROJECT NAME: SUP for 1748 Lake Breeze Drive
SITE ADDRESS/LOCATIONS: 1748 LAKE BREEZE DR, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-771-7740
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	07/21/2020	Approved w/ Comments

07/21/2020: Z2020-030; Specific Use Permit (SUP) for 1748 Lake Breeze Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, and addressed as 1748 Lake Breeze Drive.
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
- M.3 For reference, include the case number (Z2020-030) in the lower right-hand corner of all pages on future submittals.
- I.4 The subject property is zoned Planned Development District 11 (PD-11), which has an underlying zoning of Single-Family 10 (SF-10) District.
- I.5 According to Subsection 02.02(7) of Article 13, Definitions, of the Unified Development Code (UDC), a residential garage is clearly defined as:

Residential Garage. A residential accessory building used for the storage of motor vehicles. These structures are typically attached to the primary structure; however, they may also be a detached structure.

In this case, the {1} orientation of the proposed garage bay door (i.e. facing toward the primary structure and not have 20-feet of clear space in front of the door), and {2} the fact that a motor vehicle has no way of getting to the structure (i.e. is situated behind an eight (8) foot fence and does not have a residential driveway to the structure) does not support this structure being classified as a residential garage; therefore, staff has classified this as a residential accessory structure. In addition, the applicant's plans and letter state that this will be a workshop and is not intended to store motor vehicles.

I.6 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), accessory buildings proposed in a Single-Family 10 (SF-10) District shall adhere to the following requirements:

- (1) Number of Accessory Structures Permitted per Lot: 2
- (2) Maximum SF of Accessory Structure: 144 SF
- (3) Minimum Rear Yard Setback: 3 Feet
- (4) Minimum Side Yard Setback: 6 Feet
- (5) Distance Between Buildings: 6 Feet

(6) Maximum Building Height: 15 Feet

In addition, all accessory buildings should be constructed to be architecturally compatible to the primary structure and be situated behind the front façade of the building.

M.7 In this case, the subject property has an existing 8-foot by 12-foot (or 96 SF) accessory building on the subject property. The proposed new building will conform to the minimum rear yard setback, maximum building height, and minimum distance between buildings; however, the three (3) foot setback on the side yard is not in compliance with the setback requirements and would require approval from the Board of Adjustments (BOA). This will be required if the Specific Use Permit (SUP) is approved. Please contact Craig Foshee in the Building Inspections Department for more information concerning the Board of Adjustments (BOA) process.

I.8 In addition, the size of the accessory building exceeds the maximum permitted size for accessory structures in a Single-Family 10 (SF-10) District by 213 SF (i.e. 144 SF – 357 SF = -213 SF).

M.9 Please clearly label the distance between the proposed building and all property lines, and the distance between the building and the primary structure on the site plan. In addition, label the dimensions of the building on the site plan.

M.10 The applicant will be responsible for hiring a structural engineer to certify that the wall that was constructed (and the wall that is located three (3) feet from the newly constructed wall) will support the weight of the proposed accessory building. Staff will require a letter signed and seal by the structural engineer indicating this.

M.11 Please review the attached Draft Ordinance prior to the July 28, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than August 4, 2020.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 4, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 11, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 28, 2020.

I.13 The projected City Council meeting dates for this case will be August 17, 2020 (1st Reading) and September 8, 2020 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Amy Williams	07/23/2020	Approved w/ Comments

07/23/2020: Will need a structural engineer to approve the strength of the existing wall on the property line, and the foundation for this proposed structure. The letter from the engineer must be signed and sealed and reference both walls and the structure that is planned.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	07/22/2020	Denied

- 07/23/2020:
1. Does not meet 6ft. side set back
 2. Need 10ft. separation between buildings
 3. Need slab and wall engineered for building on top.
 4. Wall has not been inspected.
 5. Exceeds allowed zoning size requirements for accessory structure.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2020	Approved w/ Comments

07/21/2020: The exterior walls that are less than 5 feet from the property line shall have a 1-hr fire-resistance rating in accordance with the International Building Code Table 602.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	07/23/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/21/2020	Approved



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING

CASE NO. 22020-030

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1748 LAKE BREEZE DR. ROCKWALL, TX 75087

Subdivision HILLCREST SHORES Lot 6 Block 0

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-11

Current Use RESIDENTIAL

Proposed Zoning PD-11

Proposed Use RESIDENTIAL

Acreage 0.23

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner MARK KLECHA

Applicant

Contact Person

Contact Person

Address 1748 LAKE BREEZE DR.

Address

City, State & Zip ROCKWALL, TX 75087

City, State & Zip

Phone 402-315-8387

Phone

E-Mail markklecha@hotmail.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared MARK KLECHA [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of July, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

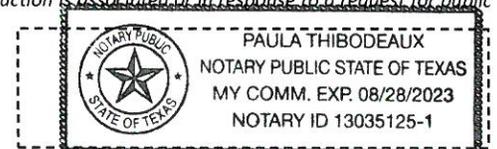
Given under my hand and seal of office on this the 16th day of July, 20 20.

Owner's Signature

Mark Klecha

Notary Public in and for the State of Texas

Paula Thibodeaux



My Commission Expires

0 15 30 60 90 120 Feet

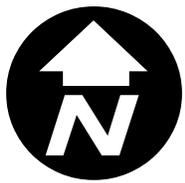
Z2020-030- SUP FOR 1748 LAKE BREEZE DRIVE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

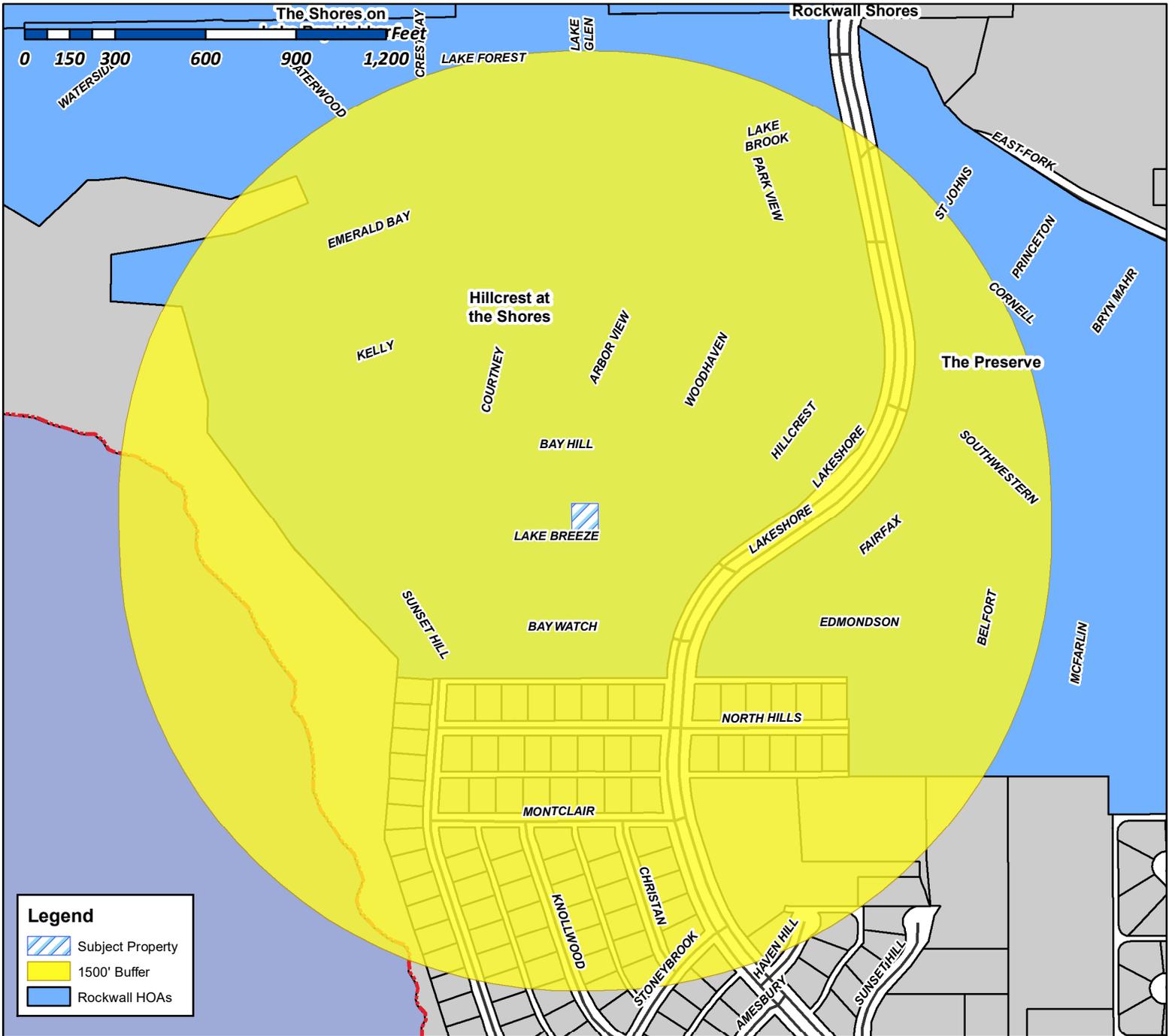
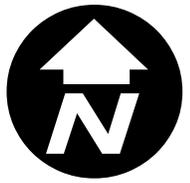




City of Rockwall

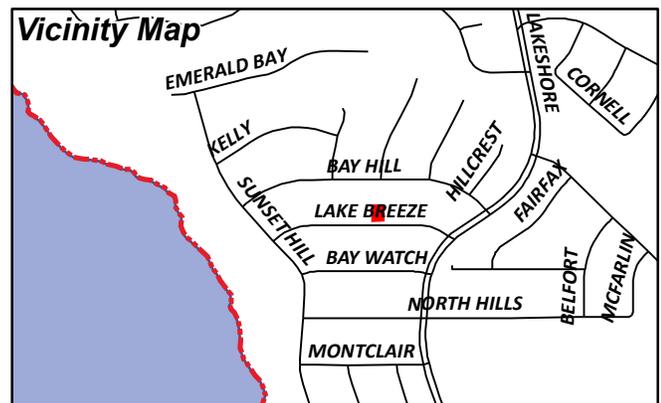
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-030
Case Name: SUP for 1748 Lake Breeze Drive
Case Type: Specific Use Permit
Zoning: Planned Development District 11 (PD-11)
Case Address: 1748 Lake Breeze Drive

Date Created: 7/17/2020
 For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Henry Lee](#)
Subject: Neighborhood Notification Program
Date: Tuesday, July 21, 2020 10:14:35 AM
Attachments: [HOA Map \(07.17.2020\).pdf](#)
[Public Notice \(07.20.2020\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, July 31, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 11, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 17, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a [Specific Use Permit \(SUP\)](#) for an accessory building that exceeds the maximum square footage on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

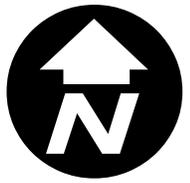
<http://www.rockwall.com/planning/>



City of Rockwall

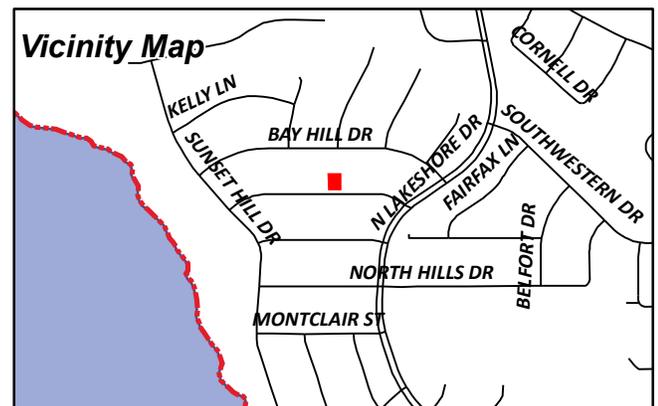
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-030
Case Name: SUP for 1748 Lake Breeze Drive
Case Type: Specific Use Permit
Zoning: Planned Development District 11 (PD-11)
Case Address: 1748 Lake Breeze Drive

Date Created: 7/22/2020
For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
1011 HILLCREST
ROCKWALL, TX 75087

ANDERSON SALLY LESIL & STEVE
1017 COURTNEY CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
1019 WOODHAVEN
ROCKWALL, TX 75087

DORN KEITH
1020 ARBOR VIEW PL
ROCKWALL, TX 75087

SANDMAN DAVID & VALERIE
1020 COURTNEY CIR
ROCKWALL, TX 75087

HAUER MELVIN C & VIRGINIA L
1020 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

LOGAN WINFRED BART & TRACEY
1021 ARBOR VIEW PL
ROCKWALL, TX 75087

MAURHOFF MARGARET L AND
MICHAEL J VEREB
1025 COURTNEY CIRCLE
ROCKWALL, TX 75087

WEBER MATTHEW J AND THERESA M
1027 ARBOR VIEW PL
ROCKWALL, TX 75087

BEUSELING JOHN MARTIN & GLORIA LYNN
1029 WOODHAVEN CIR
ROCKWALL, TX 75087

BENAVIDES RAPHAEL G & MARY A
1030 ARBOR VIEW PL
ROCKWALL, TX 75087

MULLINAX STEVE WAYNE & DEBBIE S
1030 COURTNEY CIR
ROCKWALL, TX 75087

CORRIGAN DERRICK & STEFANIE
1030 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

ABRAMSKY SAMUEL & CHRISTI
1033 ARBOR VIEW PL
ROCKWALL, TX 75087

FLEMING ERIC AND DEIDRE
1033 COURTNEY CIR
ROCKWALL, TX 75087

WARD PATRICK C
1037 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

BEATY SUSAN J
1038 COURTNEY CR
ROCKWALL, TX 75087

CURRENT RESIDENT
1039 ARBOR VIEW
ROCKWALL, TX 75087

MAY RICHARD A & LISA A
1040 ARBOR VIEW PL
ROCKWALL, TX 75087

SMETANA JOSEPH JR & ANGEL P
1046 COURTNEY CIR
ROCKWALL, TX 75087

RESTER J TREVER & MICHELLE
1047 ARBOR VIEW PL
ROCKWALL, TX 75087

PETTIT PAUL & PAMELA
1048 ARBOR VIEW PL
ROCKWALL, TX 75087

WRIGHT LARRY G & JENNIFER
1054 COURTNEY CIRCLE
ROCKWALL, TX 75087

MATHIAS ERIC J & ROBIN A
1514 MALLARD HVN
SAN ANTONIO, TX 78260

SUCHAND HAROLD A AND SUSAN W
1596 EDMONDSON TR
ROCKWALL, TX 75087

JONES LALANII
1597 EDMONDSON TRAIL
ROCKWALL, TX 75087

CURRENT RESIDENT
1602 NORTH HILLS
ROCKWALL, TX 75087

KLUTTS BEN A JR & JULIE C
1604 N HILLS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1604 NORTH HILLS
ROCKWALL, TX 75087

WATSON MATTHEW W & JAMIE D
1606 NORTH HILLS DRIVE
ROCKWALL, TX 75087

CONNALLY DAVID & VICKIE
1608 N HILLS DR
ROCKWALL, TX 75087

CONFIDENTIAL
1610 NORTH HILLS DRIVE
ROCKWALL, TX 75087

BAUCHMAN NANCY
16631 MALCOLM LN
YORBA LINDA, CA 92886

JOHNSON CLARENCE R & CASANDRA L
1704 BAY WATCH DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1704 LAKE BREEZE
ROCKWALL, TX 75087

LYNCH CHRISTOPHER J
1705 BAY WATCH DRIVE
ROCKWALL, TX 75087

RYAN JEFFREY & DARLA
1705 BAYHILL DR
ROCKWALL, TX 75087

CONFIDENTIAL
1707 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

PAULSEN LOGAN & BRANDI A
1712 BAY WATCH DRIVE
ROCKWALL, TX 75087

VAUGHN STEPHEN MICHAEL
1712 LAKE BREEZE DR
ROCKWALL, TX 75087

WHITAKER MARTIN & DORIS
1715 BAY WATCH DR
ROCKWALL, TX 75087

REPMAN MARK &
MICHELLE BASTIDAS
1715 BAYHILL DR
ROCKWALL, TX 75087

SIMPSON RODNEY KEITH
1717 LAKE BREEZE DR
ROCKWALL, TX 75087

PEDDIE STACIE
1720 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

KEETON KENNETH W & REBECCA
1722 BAY WATCH DR
ROCKWALL, TX 75087

HIETBRINK BERNARD D & MELISSA L
1725 BAY WATCH DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1727 BAY HILL
ROCKWALL, TX 75087

KETON JAMES H & JEANNETTE S
1727 LAKE BREEZE DR
ROCKWALL, TX 75087

HIGGINS BRADLEY STEPHEN AND
AMANDA JO BURT HIGGINS
1730 LAKE BREEZE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1732 BAY WATCH
ROCKWALL, TX 75087

WHALIN GREGORY L & TERRI B
1733 BAY WATCH DR
ROCKWALL, TX 75087

LOCKWOOD CHARLES DOUGLAS
1737 BAYHILL DR
ROCKWALL, TX 75087

BOWEN RONALD L & DEANNA K
1737 LAKE BREEZE DR
ROCKWALL, TX 75087

BYROM JOHNNY R & LYNETTE
1738 LAKE BREEZE DR
ROCKWALL, TX 75087

TUBBS LAJUAN C
1740 BAY WATCH DR
ROCKWALL, TX 75087

LANZONE FAMILY LIVING TRUST
CHRIS A LANZONE AND DIANE M LANZONE-
TRUSTEES
1741 BAY WATCH DRIVE
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

BRADLEY TAMMY JEAN
1747 BAY HILL DR
ROCKWALL, TX 75087

SISKA JAMES W & RITA F
1748 BAY WATCH DR
ROCKWALL, TX 75087

KLECHA MARK AND ANGELA
1748 LAKE BREEZE DR
ROCKWALL, TX 75087

AKARD ARTHUR F & DANA D
1751 BAY WATCH DR
ROCKWALL, TX 75087

THOMPSON RONALD G & CAROLYN E
1755 BAYHILL DR
ROCKWALL, TX 75087

BARKER MARK A
1755 LAKE BREEZE DR
ROCKWALL, TX 75087

BOONE WILLIAM R JR & KYOKO N
1756 LAKE BREEZE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1758 BAY WATCH
ROCKWALL, TX 75087

WITTIG MILTON G & CYNTHIA J
1759 BAY WATCH DR
ROCKWALL, TX 75087

LOWNDES ROBERT
1763 BAYHILL DR
ROCKWALL, TX 75087

LONDON REV TR
1763 LAKE BREEZE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1764 LAKE BREEZE
ROCKWALL, TX 75087

CURRENT RESIDENT
1766 BAY WATCH
ROCKWALL, TX 75087

JACOBSON BRUCE ALLEN & MARGARET
1769 BAY WATCH DR
ROCKWALL, TX 75087

SMITH JAMES & JULIE
1773 BAYHILL DR
ROCKWALL, TX 75087

MEYN RICHARD B & CATHERINE
MEYN FAMILY TRUST
1773 LAKE BREEZE DR
ROCKWALL, TX 75087

HAMILTON DOUGLAS C & JANET K
1774 BAY WATCH DR
ROCKWALL, TX 75087

GUZMAN PATRICIA MARGARITA & THANH
NGUYEN HOANG
1774 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

MOORE KERMIT T & GWENDOLYN R
1781 BAYHILL DR
ROCKWALL, TX 75087

PERALES LIVING TRUST
1781 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

HOLCOMB RICHARD & KATHY
1782 LAKE BREEZE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1790 LAKE BREEZE
ROCKWALL, TX 75087

BARBER TRUMAN JOSEPH & BARBARA
1791 BAYHILL DR
ROCKWALL, TX 75087

KING DOROTHY
1793 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

DAVENPORT JAMES & MARYBETH
1798 LAKE BREEZE DR
ROCKWALL, TX 75087

VESTAL JEANETTE & ALSON
1799 BAYHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1803 LAKE BREEZE
ROCKWALL, TX 75087

CURRENT RESIDENT
1807 BAY HILL
ROCKWALL, TX 75087

DAVIS JIMMY GOLAN AND TATIANA
KAPOUSTINA-DAVIS
1817 BAYHILL DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
1822 BAY HILL
ROCKWALL, TX 75087

KHABAZ ALLEN BLEEDO
1827 BAYHILL DR
ROCKWALL, TX 75087

REED LARRY K
18333 ROE HAMPTON #323
DALLAS, TX 75252

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
30601 AGOURA ROAD SUITE 200
AGOURA HILLS, CA 91301

CUTLER ELDON GEORGE & THALIA LONE
40161 E 179TH STREET
KINGSVILLE, MO 64061

VILLARREAL GLORIA M & JOSE C
4914 W 106TH ST
OAK LAWN, IL 60453

OH SINEUI
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

MATSUMOTO SHINTARO
C/O OPEN HOUSE CO. LTD
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

OPEN HOUSE TEXAS REALTY & INVESTMENTS
LLC
5050 QUORUM DRIVE SUITE 120
DALLAS, TX 75254

CRETI DANIEL AND MARTHA TRUST
550 S SILVERADO WAY
ANAHEIM, CA 92807

WILLIS RUTH HAYNES
6168 PRESTONDELL DR
DALLAS, TX 75240

BREEN ROBERT AND LAURA
661 JUSTIN RD
ROCKWALL, TX 75087

TOM MANLEY PROPERTIES INC
915 SUNSET HILL DRIVE
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

Hold a public hearing to discuss and consider a request by Mark Klecha for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on a 0.2297-acre parcel of land identified as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breezy Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 11, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 17, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 17, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-030: SUP for an Accessory Building at 1748 Lake Breeze Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Mark Klecha
1748 Lake Breeze Drive
Rockwall, TX 75087

To the Committee Board,

Thank You for taking the time to consider my special use permit application. I wanted to write to the board to explain my situation in hopes that it will answer any questions you may have on my project.

A quick background on what I am trying to do. I have been completing multiple home improvement projects around my home while I have the down time with the current pandemic situation; a new fence and an added driveway to be exact. During a pre-pour concrete inspection, I asked the Rockwall City Inspector to take a look at a potential location in my yard for a detached garage/workshop to get his inputs on what the requirements would be to build it. Because my yard has a drastic slope to it, he said this location would require an addition of a retaining wall and a concrete slab. He explained the property line set backs and how far the structure would need to be from our home. As well as all the precautions for underground water, sewer, gas and electric, which I had the city come out and inspect before I began the project. The inspector also showed me where to find additional information for specific permit requirements on the Rockwall website, which is what I have used as a template to start my project.

Armed with this knowledge I pulled permits for the retaining wall and concrete slab, all of which were approved by the city. That work is now complete and can be seen in the attached photos. I am finishing up the stone veneer around my concrete retaining wall and plan to have the final inspection done upon completion of the stonework. The concrete slab is also complete and has been finalized by the city. I have been fully transparent about my intentions to build this structure and have asked many questions along the way to ensure I was doing it according to city requirements. It wasn't until now that anyone mentioned the square footage limitations I was going to run into.

Fast forward to now. I applied for the permit to begin building the structure and this is where things took a surprise turn for my project. This is technically a detached garage, which affords me up to a 625 sq/ft structure per the city permit requirements. However, I was told in order to permit it as a detached garage, I would need a 12' wide driveway poured to the garage door (which is not mentioned anywhere on the "City of Rockwall Permit Requirements for Residential Portable, Accessory Buildings, Detached Garages and Carports" page). Due to the location of the structure on my property (see attached site plot), it would not be feasible or aesthetically pleasing to pour that much concrete through my backyard. So because of that one requirement, I must permit this

structure as an accessory building, which now forces me to limit the size of the building to 144 sq/ft. My structure will be approximately 360 sq/ft (see attached plan drawings). So I find myself in a sort of play on words where one allows me to build the structure while also requiring a lot of concrete and the other limits the square footage of the structure. This is why my application is in front of you today. If I wanted to pour a driveway through my backyard, I could technically get a detached garage permit and be able to build the structure without a special use permit. However, that would be cost prohibitive and quite frankly, not at all appealing for my back yard. I would think we can all agree on that?

Having said all of that, please allow me to explain how this structure will be an improvement to my property and all of the precautions I have taken to ensure my neighbors and the location of the structure have been taken into account. I have spoken to my neighbor on that side of my property about my plans and what I am doing. They fully support it and are even willing to sign a letter, if needed, to help this process along. My property also has two large oak trees located in front of and behind where this structure will be built (see attached photos) and they will block the majority of the structure from both the street and alley view. I also have a brand new 8' fence to block it from view as much as it can. I designed the structure to tie in with the architectural elements of our home so that it will not be an eyesore to the neighborhood.

I am asking for your consideration and approval of this permit. I began this project based on the information given to me by the Rockwall City Inspector and the information presented on the Rockwall website for permit requirements. I made large financial decisions based on that information and now find myself in this conundrum of what appears to be, in my opinion, a technicality on words vaguely defining what a structure is and the subsequent surrounding requirements that aren't completely defined on the permit requirements page (i.e. detached garage vs accessory building). At this point I have invested over \$7,000 dollars to build the retaining wall and the concrete slab for this structure. To be denied this special use permit at this point would be very unfortunate and put me in a tough situation.

I am hopeful that you will see my due diligence in using the city professionals and resources prior to beginning this project. I am asking for your help to see this project to its completion.

Again, Thank You for your time and consideration on this matter. If you have any questions or need more information, please contact me at (402) 315-8387 or markklecha@hotmail.com.

Warm Regards,

A handwritten signature in black ink, appearing to read "Mark Klecha". The signature is written in a cursive, flowing style with some loops and flourishes.

CITY OF ROCKWALL PERMIT REQUIREMENTS FOR RESIDENTIAL PORTABLE, ACCESSORY BUILDINGS, DETACHED GARAGES & CARPORTS.

A permit is required to erect portable or accessory buildings, detached garages and carports. Requirements are as follows:

1. Permit application
2. Site plan or property Survey – showing the location, size of the building (length, width, height), and the setbacks (distance) from the property line(s) and other structures on the property.
3. Buildings with concrete slabs will require two inspections & should not be located over a gas line. Buildings with electrical, Plumbing or mechanical need to be inspected before covered, such as with sheet-rock.
4. The permit fee is based on the square footage. .

SUBSECTION 7.04: ACCESSORY STRUCTURE DEVELOPMENT STANDARDS

Accessory Structure Development Standards		Accessory Structures & Accessory Buildings ^{1 & 3}					Portable Accessory Building 0 SF – 120 SF ⁸	Detached Garage ^{6 & 9}	Carports ^{7 & 8}
		Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	All Other Single Family Zoning Districts (i.e. SF-7, SF-8.4, SF-10, SF-16 & SF-16 & SF-16)	Two Family (2F) District			
Zoning Districts or Accessory Structure Type □									
Development Standards □									
Number of Accessory Structures or Number of Specific Accessory Structure		2 ²	2 ²	2 ²	2	1	1	1	1
Maximum SF of Accessory Structure ⁵		1,000 ²	1,000 ²	1250 ²	144 ⁵	100	120	625	500
Minimum Setbacks	Rear (Feet)	10	10	10	3	3	3	10	10
	Rear w/ Alleyway (Feet)	20 ⁴	20 ⁴	20 ⁴	3	3	3	20 ⁵	20
	Side (Feet)	See Zoning District	See Zoning District	See Zoning District	See Zoning District	3	3	See Zoning District	See Zoning District
Between Buildings (Feet)		10	10	10	6	3	3	10	10
Building Height (Feet)		15	15	15	15	10	10	15	15

ADDITIONAL REQUIREMENTS:

- ★ 1: Accessory buildings and accessory structures shall be accessory to a residential use and located on the same lot. Unless stipulated above, only two (2) accessory structures are permitted per single-family lot; excluding carports that are integrated into the main accessory structure.
- 2: If more than one (1) accessory building is proposed or if an accessory building, 625 SF or less, is existing then the maximum accessory building that can be constructed is 400 SF. If there is an existing accessory building greater than 625 SF no additional accessory buildings or structures are permitted.
- ★ 3: Accessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure.
- ★ 4: If the accessory building does not have garage doors facing the alleyway the setback is the same as the base zoning district.
- ★ 5: Accessory buildings and structures not meeting the size requirements stipulated by the section shall require a Specific Use Permit (SUP).
- ★ 6: Each property shall be permitted one (1) detached garage up to 625 SF and one (1) accessory building up to 144 SF.
- 7: In residential districts, carports must be open on at least two (2) sides, architecturally integrated into the primary structure, and be located 20-feet behind the corner of the front façade and meet the garage setback adjacent to an alley. Porte-cocheres are not considered carports, and are allowed, if they are attached and integral with the design of the house.
- 8: Two (2) story accessory buildings or structures shall be prohibited.
- 9: Shall include a minimum of one (1) garage bay door large enough to pull a standard size motor vehicle through.

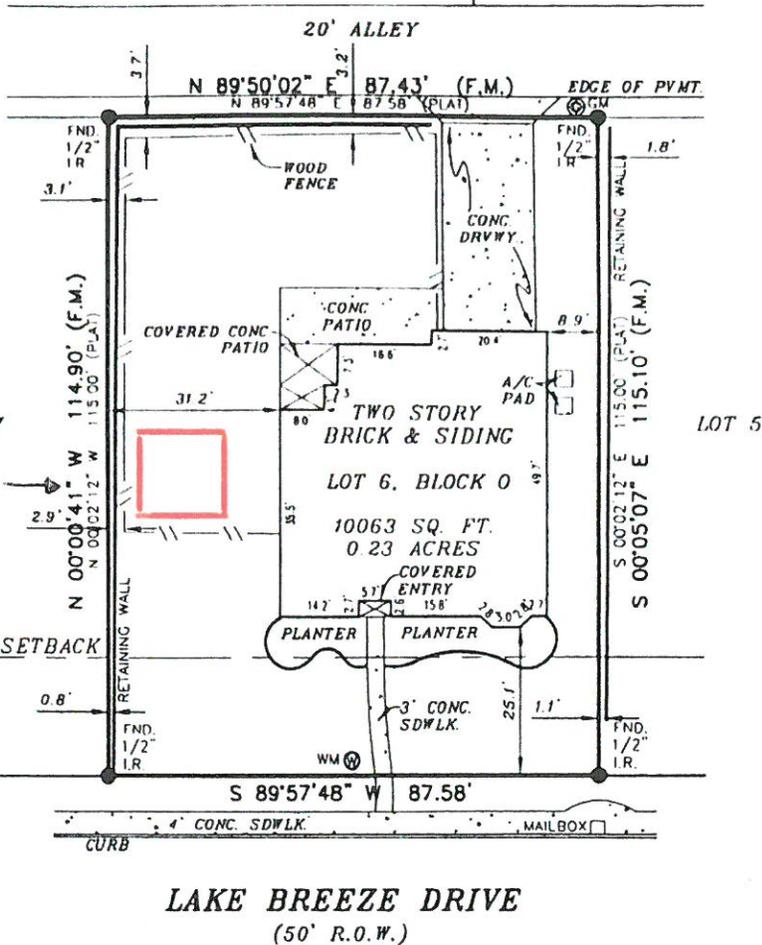
★ NO MENTION OF REQUIRED 12 FOOT DRIVEWAY TO QUALIFY AS A "DETACHED GARAGE"

★ NOTE 5 IS SORT OF HIDDEN AND NOTE 6 MAKES IT APPEAR THAT I WAS MEETING THE INTENT WITH MY STRUCTURE.

LEGEND

These standard symbols will be found in the drawing.

- BOUNDARY LINE
- - - EASEMENT LINE
- - - - BUILDING SETBACK LINE
- ||| WOOD FENCE
- FOUND IRON ROD
- ⊙ GAS METER
- ⊙ WATER METER
- MAILBOX
- (PLAT) RECORDED ON PLAT
- (F.M.) FIELD MEASURED



LOCATION OF STRUCTURE WOULD MAKE A 12 FOOT DRIVEWAY DIFFICULT TO POUR AND UNSIGHTLY

LAKE BREEZE DRIVE
(50' R.O.W.)

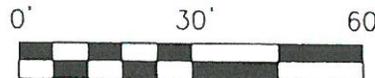
LEGAL DESCRIPTION

BEING LOT 6, BLOCK 0 OF HILLCREST SHORES, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET C, SLIDE 199, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 48397C 0030 L, effective date of SEPTEMBER 26, 2008. Exact designations can only be determined by a Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.

SURVEYOR'S NOTE:
BASIS OF BEARING, RECORDED
PLAT UNLESS OTHERWISE NOTED.

GRAPHIC SCALE



I, ROY JOHN RONNFELDT, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to HEXTER-FAIR TITLE COMPANY and that the above map is true and correct according to an actual field survey, made by me on the ground or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way as of the date of the field survey. I further certify that this survey meets or exceeds the minimum standards established by the Texas Board of Professional Land Surveying (Section 663.18).
Lot(s) 6, Block 0, N.C.B. --, Survey No. --, Abstract No. --.
Survey or Subdivision: HILLCREST SHORES, AN ADDITION TO THE CITY OF ROCKWALL
Cabinet C, Slide(s) 199-200, of the Map/Deed and Plat Records of ROCKWALL County, Texas.
Borrower/Owner: CHARLES M. HUSTON AND KENDRAH HUSTON
Address: 1748 LAKE BREEZE DRIVE GF No. PL11619416

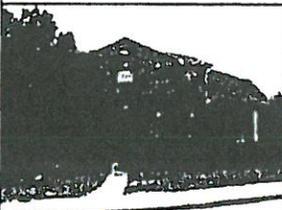
FINAL "AS-BUILT" SURVEY

JOB NO.:	1105006367	NO	REVISION	DATE
DATE:	05/27/11			
DRAWN BY:	MN/HM			
APPROVED BY:	RJR			



SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN VOLUME 961, PAGE 176, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS VOLUME 1121, PAGE 25, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS

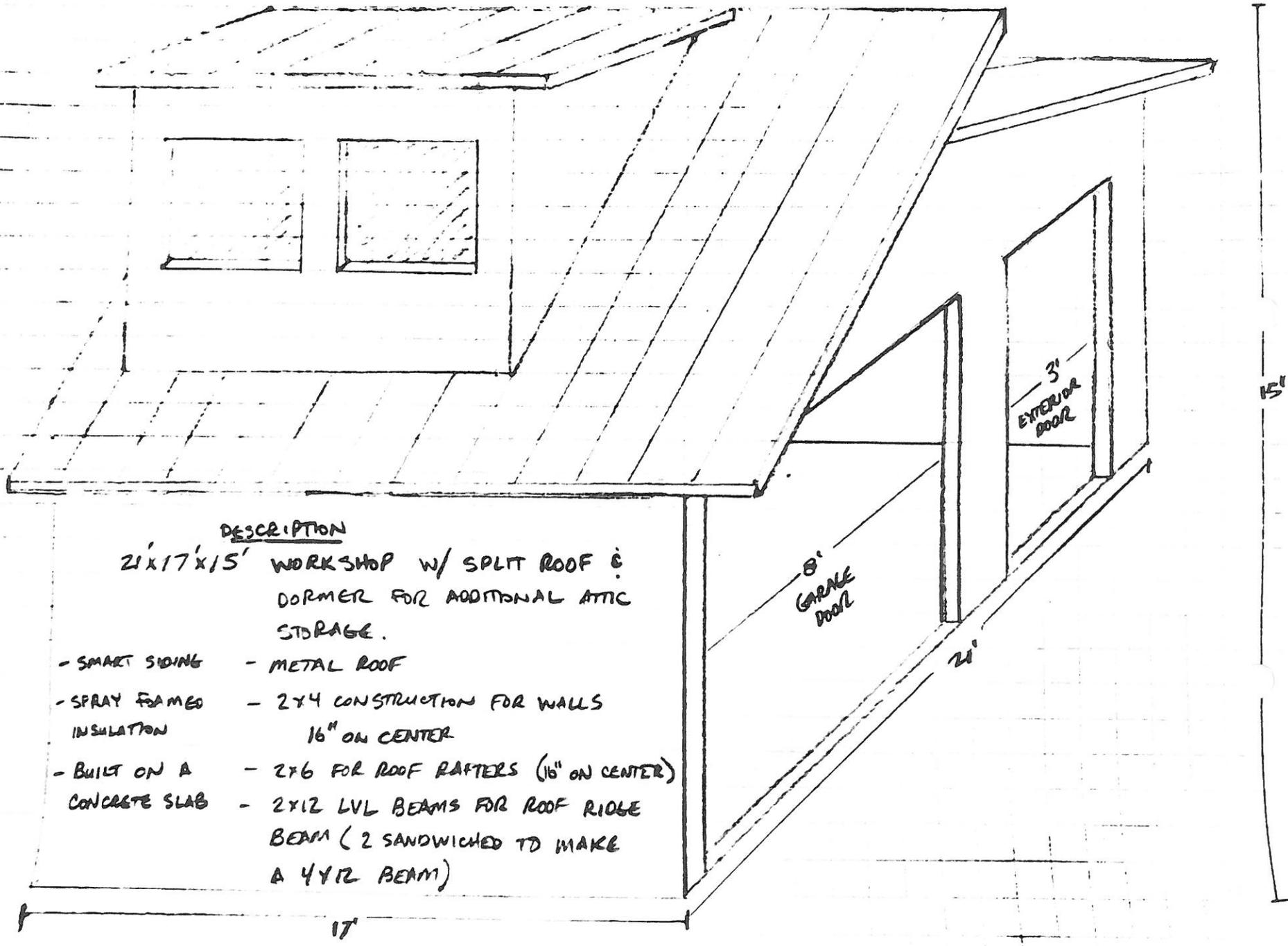
PROPERTY PHOTOGRAPH:



[Signature] 7-14-11

[Signature]
ROY JOHN RONNFELDT, R.P.L.S.
Registered Professional Land Surveyor
Registration No. 3520

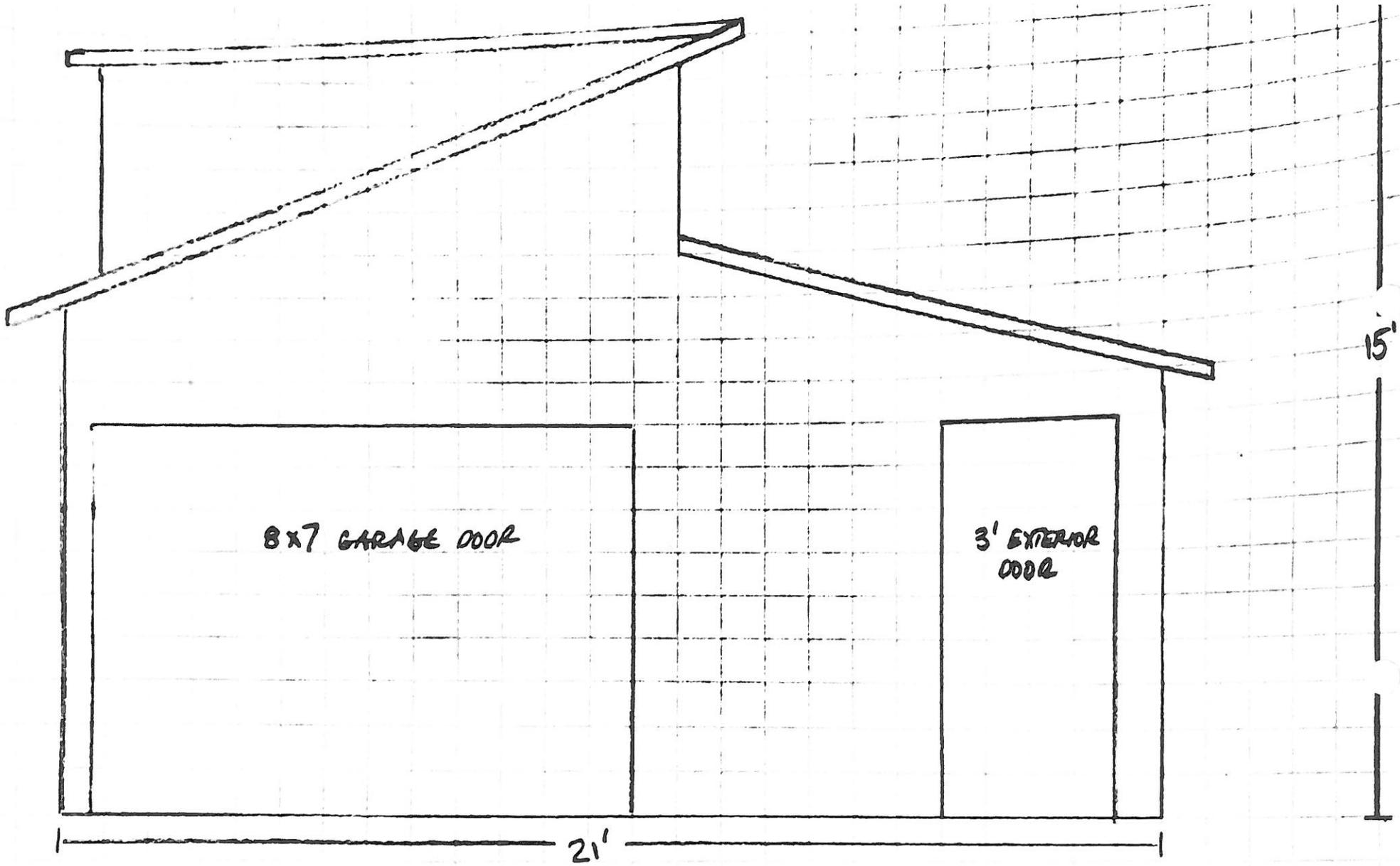
AMERISURVEYORS, LLC
11711 Warfield Road, San Antonio, Texas 78216
Phone: (214) 677-4566 Fax: (214) 948-9662



DESCRIPTION

21'x17'x15' WORKSHOP W/ SPLIT ROOF & DORMER FOR ADDITIONAL ATTIC STORAGE.

- SMART SIDING
- METAL ROOF
- SPRAY FOAMED INSULATION
- 2x4 CONSTRUCTION FOR WALLS 16" ON CENTER
- BUILT ON A CONCRETE SLAB
- 2x6 FOR ROOF RAFTERS (16" ON CENTER)
- 2x12 LVL BEAMS FOR ROOF RIDGE BEAM (2 SANDWICHED TO MAKE A 4x12 BEAM)



8x7 GARAGE DOOR

3' EXTERIOR DOOR

21'

15'

PROPERTY LINE

RETAINING WALL

3' SET
BACK

FENCE

NOTES:

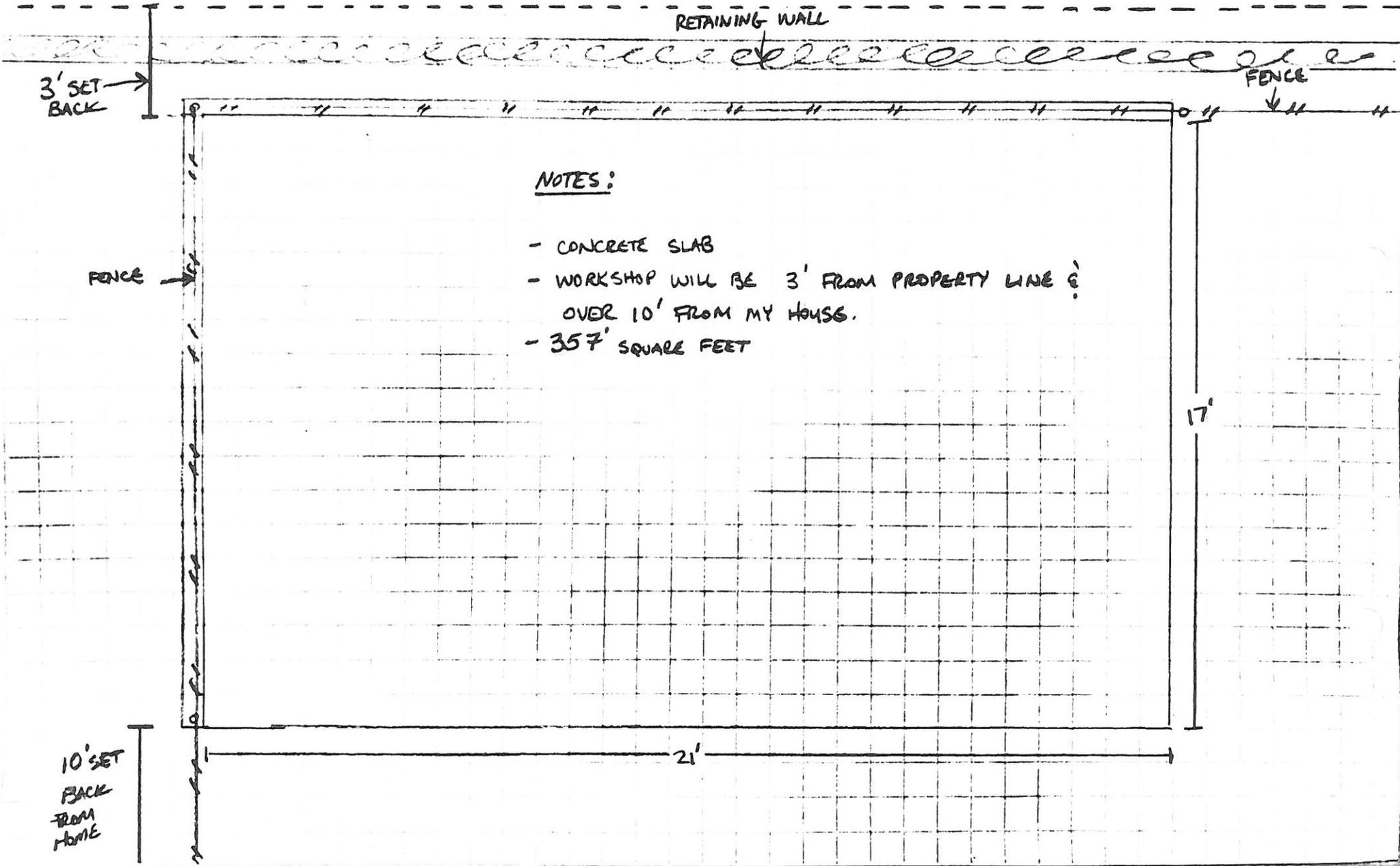
- CONCRETE SLAB
- WORKSHOP WILL BE 3' FROM PROPERTY LINE &
OVER 10' FROM MY HOUSE.
- 357' SQUARE FEET

FENCE

17'

21'

10' SET
BACK
FROM
HOME



* STRUCTURE WILL BE MOSTLY COVERED
WITH FENCE AND OAK TREES FROM THE
FRONT AND BACK





CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 11 (PD 11), ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ACCESSORY BUILDING* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.2297-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK O, HILLCREST SHORES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark Klecha for the approval of a Specific Use Permit (SUP) to allow an Accessory Building that exceeds the maximum allowable size on a 0.2297-acre parcel of land being described as Lot 6, Block O, Hillcrest Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses, addressed as 1748 Lake Breeze Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 11 (PD-11) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth

in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-20] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 360 SF.
- (3) The subject property shall not have more than two (2) accessory building.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 8TH DAY OF SEPTEMBER, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 17, 2020

2nd Reading: September 8, 2020

Exhibit 'A'
Zoning Exhibit

Address: 1748 Lake Breezy Drive

Legal Description: Lot 6, Block O, Hillcrest Shores Addition



**Exhibit 'B':
Site Plan**

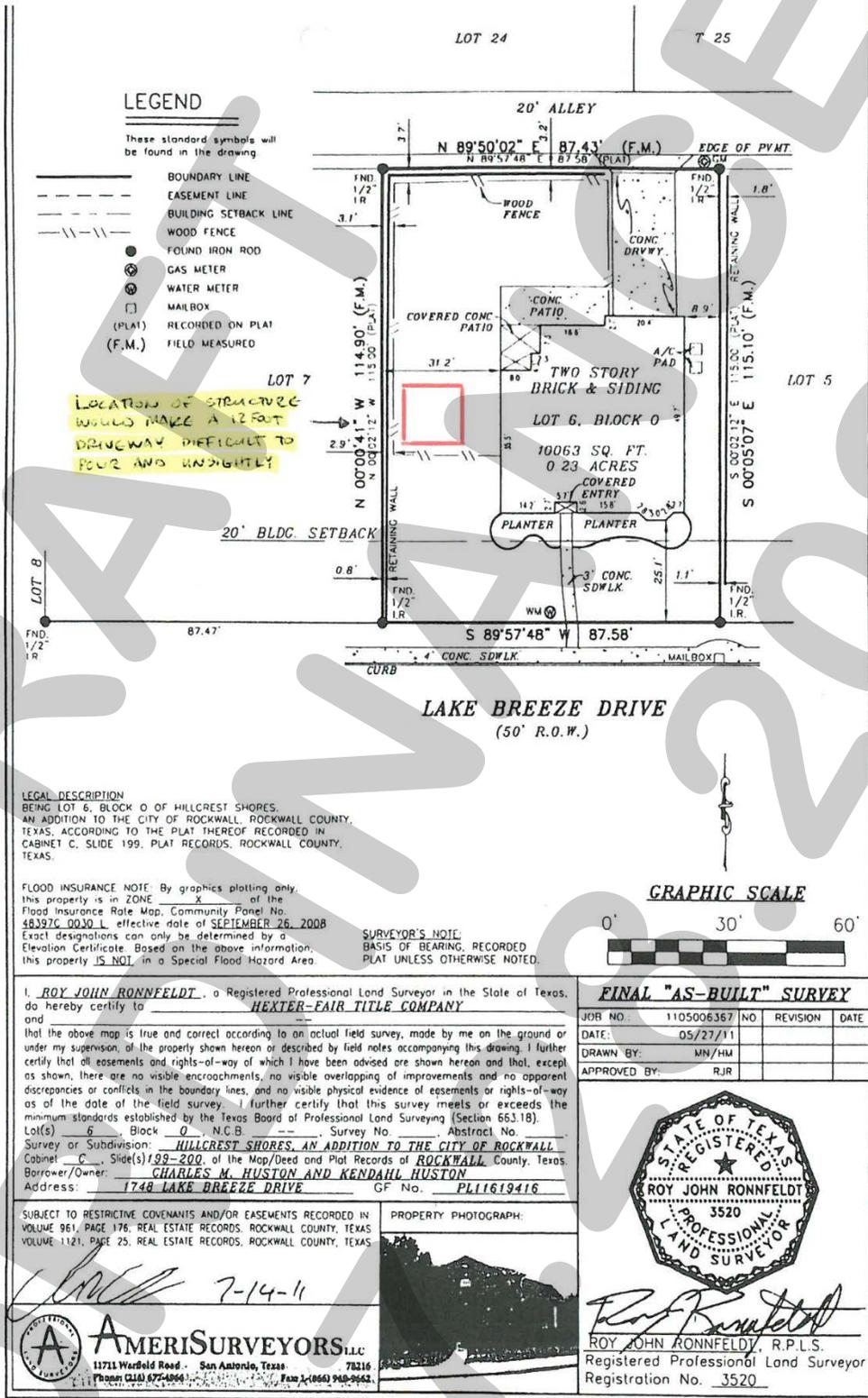


Exhibit 'C':
 Conceptual Building Elevations

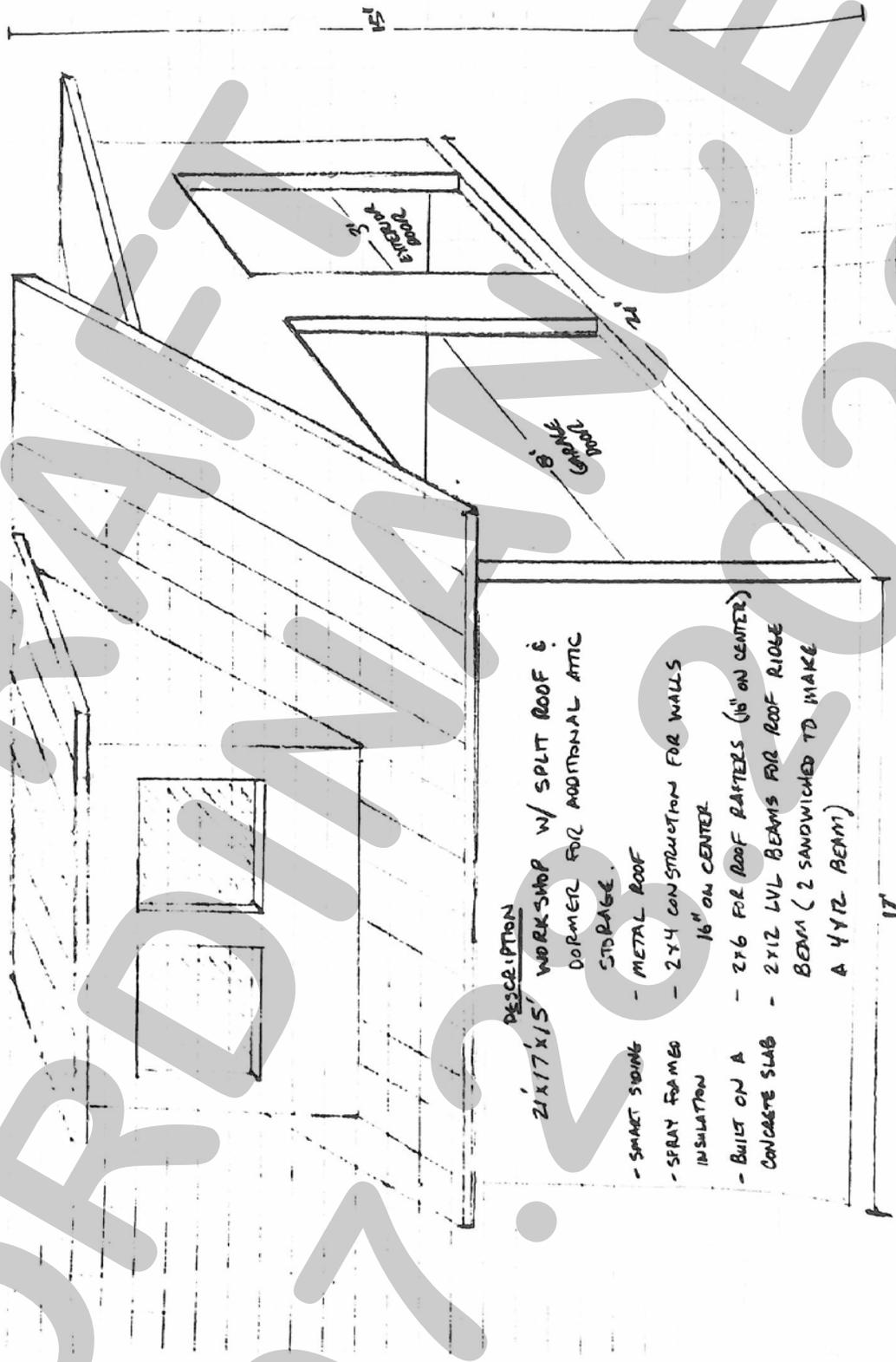


Exhibit 'C':
Conceptual Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/23/2020

PROJECT NUMBER: Z2020-031
PROJECT NAME: Amendment to PD-79 (Saddle Star South Subdivision)
SITE ADDRESS/LOCATIONS:
CASE CAPTION:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-771-7740
CASE MANAGER EMAIL: agamez@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	07/23/2020	Approved w/ Comments

07/23/2020: Z2020-031; Zoning Amendment to PD-79 (Saddle Star South Subdivision)
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Zoning Amendment to Planned Development District 79 (PD-79) (Ordinance No. 16-39) for the purpose of amending the development standards contained in Ordinance No. 16-39 for a 70.408-acre tract of land identified as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 For reference, include the case number (Z2020-031) in the lower right-hand corner of all pages on future submittals.

M.4 Please review the attached Draft Ordinance prior to the July 28, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than August 4, 2020.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 4, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 11, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 28, 2020.

I.6 The projected City Council meeting dates for this case will be August 17, 2020 (1st Reading) and September 8, 2020 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/23/2020	Approved w/ Comments

07/23/2020: I - No water or sewer available. Must update the infrastructure study and possibly the lift station to have capacity.

I - 4% Engineering Fee

I - Impact Fees

I - Retaining walls 3' and over must be engineered. all retaining walls to be rock or stone face. No smooth concrete walls.

I - Cul-de-sac to have a 47.5'R paving and 57.5'R for ROW.

I - Must have Detention. Manning's C-valve is per zoning. Drainage basins with 20 acres or more must use the unit hydrograph method. Review fees apply.

I - Site plan - Must show existing/proposed water and sewer

I - Stoney Hollow Lift Station pro-rata

I - Need right to serve letter water release from Mt.Zion ph2 and ph3.

I - Must install a 16" water line along John King frontage. This line must stub out to both property limits.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	07/22/2020	Approved w/ Comments
07/22/2020: COURNER LOTS WILL HAVE FENCE ISSUES			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2020	Approved
07/22/2020: Please submit a new cad .dwg drawing of the lot lines and road centerlines so the addressing can begin.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	07/23/2020	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/21/2020	Approved
07/21/2020: No comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 2 2020-031

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3076 Hays Ln.

Subdivision Saddle Star South Lot _____ Block _____

General Location East of John Kille and South of FM 552

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Dev PD-79 Current Use Residential- PD-79

Proposed Zoning Planned Dev. District Proposed Use Residential- PD

Acreage 14.995 Lots [Current] 33 Lots [Proposed] 33

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>C.D.T. Rockwall 2017</u>	<input type="checkbox"/> Applicant	<u>KPA CONSULTING INC.</u>
Contact Person	<u>PAT ATKINS</u>	Contact Person	<u>PAT ATKINS</u>
Address	<u>3076 Hays Ln.</u>	Address	<u>3076 Hays Ln.</u>
City, State & Zip	<u>Rockwall, Texas 75087</u>	City, State & Zip	<u>Rockwall TX 75087</u>
Phone	<u>972-388-6383</u>	Phone	<u>972-388-6383</u>
E-Mail	<u>KPATATKINS@YAHOO.COM</u>	E-Mail	<u>KPATATKINS@YAHOO.COM</u>

NOTARY VERIFICATION [REQUIRED]

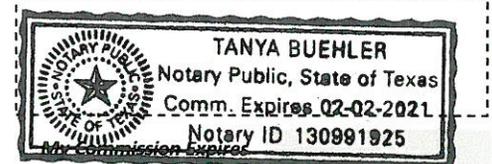
Before me, the undersigned authority, on this day personally appeared Pat Atkins [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 425⁰⁰, to cover the cost of this application, has been paid to the City of Rockwall on this the 17th day of July, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17th day of July, 2020.

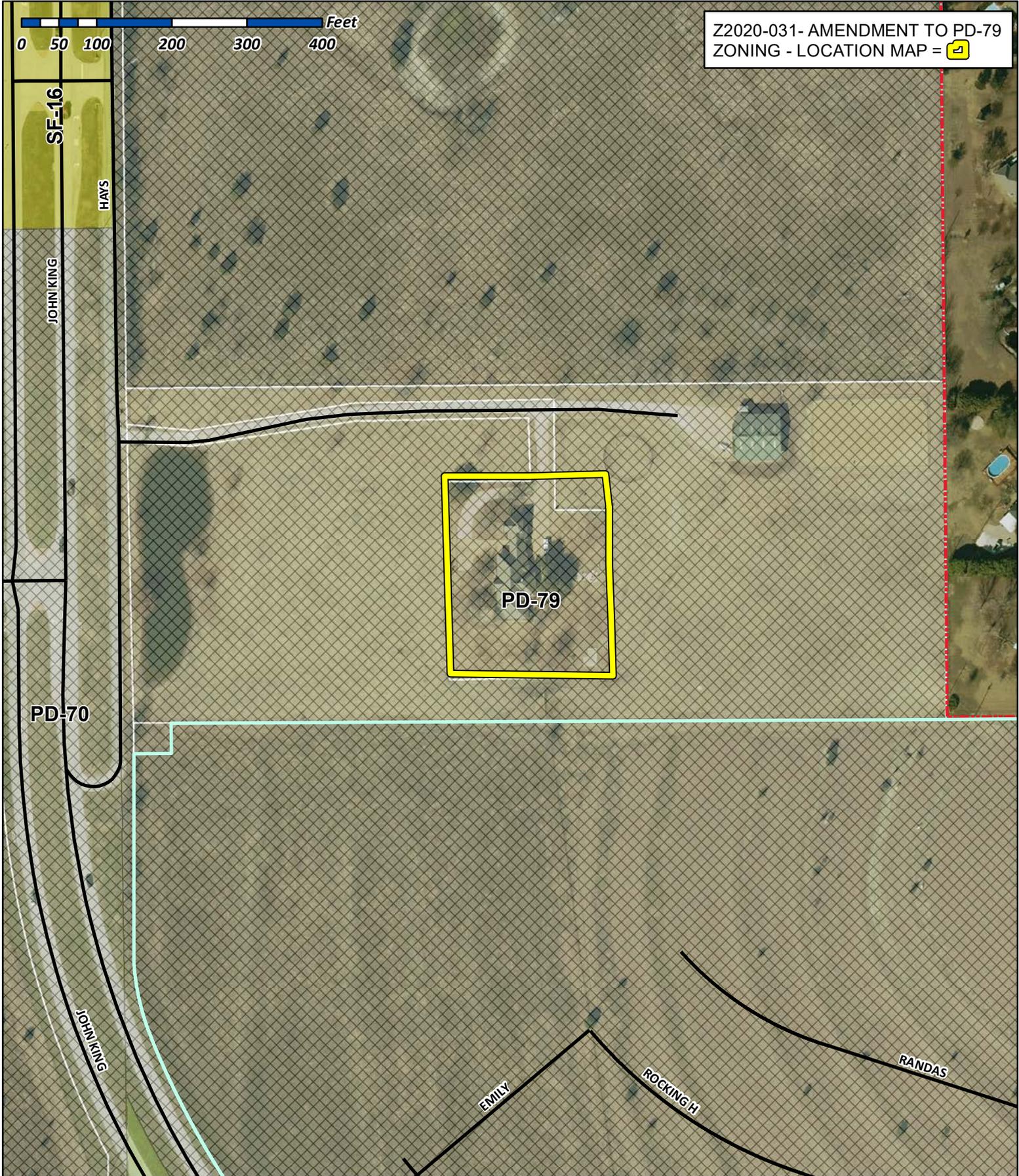
Owner's Signature

Notary Public in and for the State of Texas





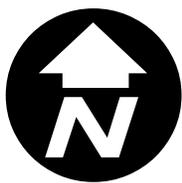
Z2020-031- AMENDMENT TO PD-79
ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

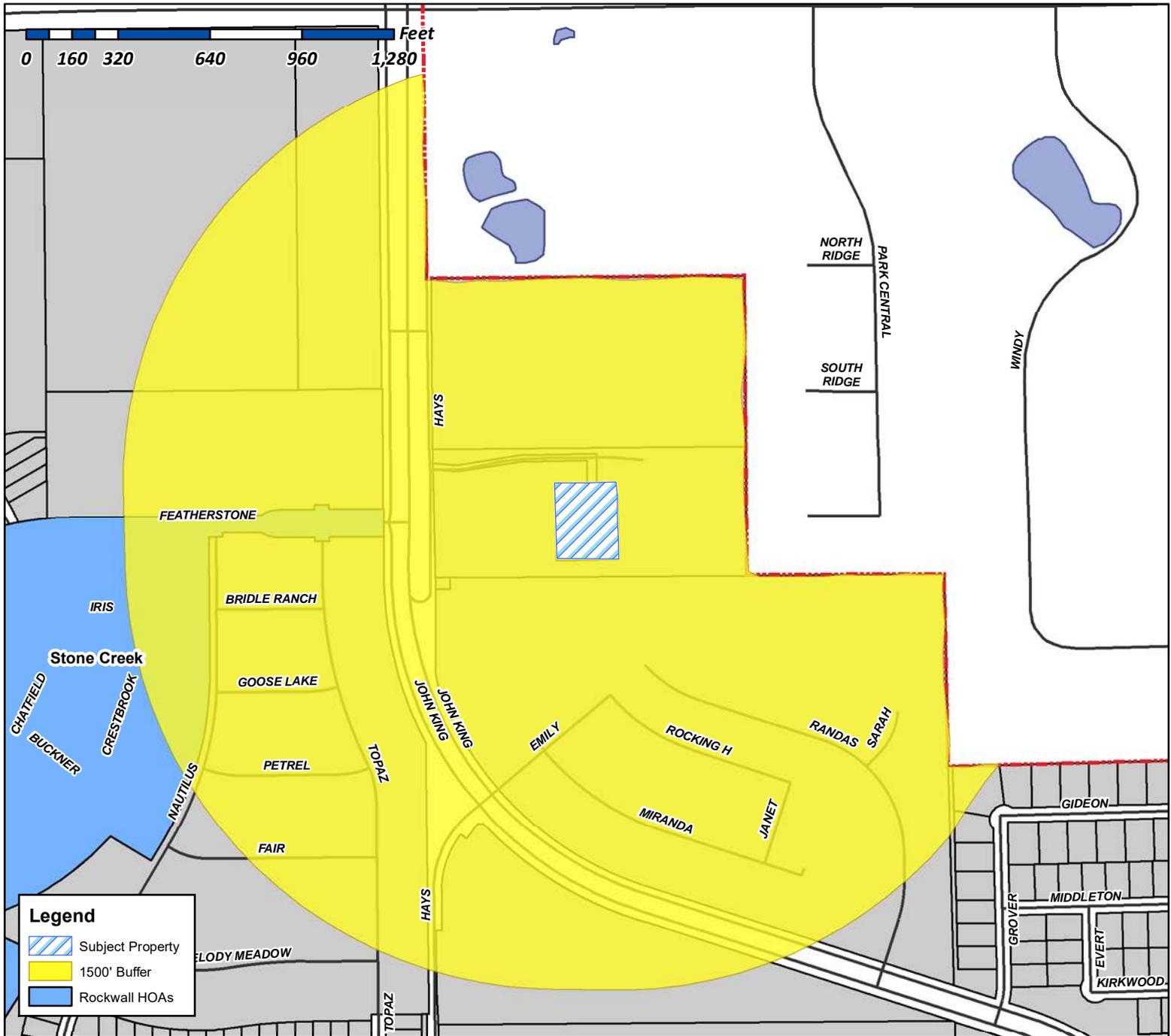




City of Rockwall

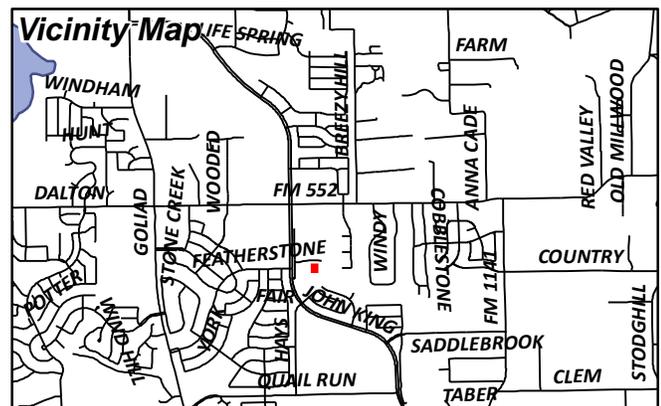
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-031
Case Name: PD Amendment for PD-79
Case Type: Zoning
Zoning: Planned Development District 79 (PD-79)
Case Address: 3076 Hays Lane

Date Created: 7/22/2020
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Henry Lee](#)
Subject: Neighborhood Notification Program
Date: Tuesday, July 21, 2020 10:12:37 AM
Attachments: [Public Notice \(07.20.2020\).pdf](#)
[HOA Map Z2020-031.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, July 31, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 11, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 17, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-031: Zoning Amendment to Planned Development District 79 (PD-79)

Hold a public hearing to discuss and consider a request by Pat Atkins of KPA Consulting, Inc. on behalf of the owners C. D. T. Rockwall 2017, LLC for the approval of a [Zoning Amendment](#) to Planned Development District 79 (PD-79) [*Ordinance No. 16-39*] for the purpose of amending the development standards contained in *Ordinance No. 16-39* for a 70.408-acre tract of land identified as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

This email was scanned by Bitdefender

PACESETTER HOMES LLC
14400 THE LAKES BLVD BUILDING C SUITE 200
AUSTIN, TX 78660

CITY OF ROCKWALL
205 W RUSK ST
ROCKWALL, TX 75087

REED GWENDOLYN
3076 HAYS LN
ROCKWALL, TX 75087

CURRENT RESIDENT
625 FM552
ROCKWALL, TX 75087

CDT ROCKWALL/2017 LLC
6925 FM 2515
KAUFMAN, TX 75142

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-031: Zoning Amendment for Planned Development District 79 (PD-79)

Hold a public hearing to discuss and consider a request by Pat Atkins of KPA Consulting, Inc. on behalf of the owners C. D. T. Rockwall 2017, LLC for the approval of a Zoning Amendment to Planned Development District 79 (PD-79) [Ordinance No. 16-39] for the purpose of amending the development standards contained in Ordinance No. 16-39 for a 70.408-acre tract of land identified as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard south of Featherstone Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 11, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 17, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 17, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-031: Zoning Amendment for Planned Development District 79 (PD-79)

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

K.P.A.CONSULTING INC.

3076 HAYS LN.-ROCKWALL,TEXAS 75087-PAT ATKINS-PRESIDENT

7-17-20

RYAN C. MILLER AICP , DAVID GONZALES AICP

DIRECTOR OF PLANNING /CITY OF ROCKWALL

385 S. GOLIAD STREET

ROCKWALL,TEXAS 75087

LETTER OF EXPLANATION

RE: SADDLE STAR SOUTH-14.995 ACRES –OWNER - C.D.T-2017 L.L.C.

ROCKWALL , ROCKWALL COUNTY , TEXAS

DEAR MR. MILLER ,GONZALES

WE ARE THE SAID AUTHORIZED REPRESENTATIVES AND THE OWNER OF THE 70.14.995 ACRE TRACT IN ROCKWALL, ROCKWALL COUNTY.

WE HEREBY AS AUTHORIZED AGENT, PAT ATKINS PRESIDENT K.P.A. CONSULTING INC., TO PURSUE APPROVAL OF OUR PLANNED DEVELOPMENT REQUEST . OUR REQUEST IS AMENDING THE ADDITIONAL 14.995 ACRES GARAGE ORIENTATION STANDARDS .

THIS ADDITION WILL REPRESENT THE 80'X125' PRODUCT ALL OTHER REQUIREMENTS WITHIN THE ORIGINAL PLANNED DEVELOPMENT WILL REMAIN THE SAME.

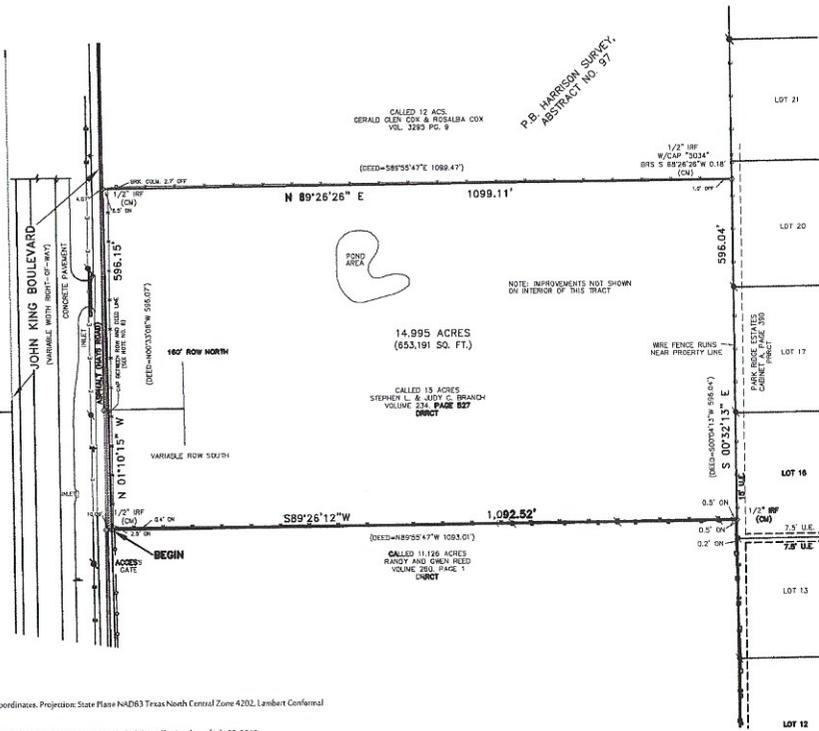
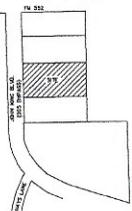
GARAGES IN PD-79 TRACT B -80'S, MINIMUM FRONT YARD SETBACK SHALL BE 25', A MINIMUM OF 30% OF THE GARAGES MAYBE CONFIGURED IN A FRONT ENTRY CONFIGURATION (i.e. allowing the garages to be flush with the front façade of the primary structure) . A MINIMUM OF 70% OF THE LOTS SHALL BE ORIENTED IN TRADITIONAL ONE(1)-CAR AND OR TWO(2) CAR ORIENTED IN A TRADITIONAL SWING(OR J-SWING) CONFIGURATION

SINCERELY

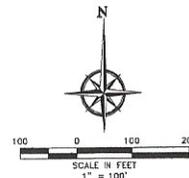
Pat Atkins

PAT ATKINS-PRESIDENT-KPA

MONITOR MAP
NOT TO SCALE



- NOTES:
1. Bearings are based on Texas State Plane Coordinates. Projection: State Plane NAD83 Texas North Central Zone 4202, Lambert Conformal Conic, Feet (NAD83-NGS).
 2. This survey was prepared with the benefit of Title Commitment #F No. 15-267205-RW, effective date of July 07, 2016, issued on August 04, 2016. No research of record easements has been performed on this tract since the effective date of the policy mentioned above.
 3. According to my interpretations of the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map Number 48397C00001, dated September 26, 2008, the subject property lies within Flood Zone "X" and is not shown to be within a Special Flood Hazard Area. This statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the surveyor.
 4. At the request of the client, only fences and other improvements were located along or near the property lines. All visible public utilities and parking were located as shown herein. Other improvements were not located.
 5. Apparent gap exists between the west line of this property and the east line of the John King ROW as defined by parcel # 17 in a deed to the City of Rockwall recorded as Instrument no. 2002-00184711 and per City of Rockwall Plan and Profile Sheets 5-7. This gap appears to be within the original Hayes road prescriptive ROW as used.
 6. Flood location is approximate and was determined from a Google Earth aerial map.
 7. Field work was completed on 8-10-16



LEGAL DESCRIPTION

BEGIN: 14.995 acres of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and all of a called 15.00 acre tract of land described in a Warranty Deed to Sorrel L. Branch and wife Judy C. Branch, recorded in Volume 234, Page 527 of the Deed Records of Rockwall County, Texas (DRRCT), and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the original Hayes Road at the common west corner of said 15.00 acre tract and a tract of land described in a deed to Randy and Geneva Reed, recorded in Volume 351, Page 1 (DRRCT);

THENCE North 01°10'15" West, continuing along and with Hayes Road and with the west line of said 15.00 acre Branch tract, a distance of 586.15 feet, to a 1/2" iron rod found for corner at the northwest corner thereof, common to the southwest corner of a called 15.00 acre tract of land described in a deed to Gerald Glen Cox and wife Rosalba Cox, recorded in Volume 325, Page 9, (DRRCT);

THENCE North 89°26'26" East, along the common line of last mentioned tracts, a distance of 1,099.11 feet, to a point for corner at the common east corner thereof, and also being in the west line of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Caliber A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT), from which a 1/2" iron rod with a yellow cap stamped "5034" bears South 68°26'26" West, a distance of 0.18 feet;

THENCE South 00°32'13" East, along the common line of said Branch tract and said Park Ridge Estates, a distance of 595.04 feet, to a 1/2" iron rod found for corner at the southeast corner thereof, common to the northeast corner of said Reed tract;

THENCE South 89°26'12" West, along the common line of last mentioned tracts, a distance of 1,092.52 feet to PLACE OF BEGINNING and Containing 653,191 square feet, or 14.995 acres of land.

I, Robert C. Myers, Registered Professional Land Surveyor of the State of Texas, do hereby certify that this survey substantially complies with the current Texas Society of Professional Surveyors standards and specifications for a "Standard Land Survey" and that the plat herein is a true, correct, and accurate representation of the subject property as determined by me on the ground survey and by my representation. The form and dimensions of said property being indicated by the plat, and there are no known encroachments, conflicts, or protrusions, except as shown on this survey.

ROBERT C. MYERS, R.P.L.S., NO. 3393

LEGEND	
ORS	1/2" IRON ROD SET WITH YELLOW CAP STAMPED "RCL 3393"
CRF	CAPPED IRON ROD FOUND
IRF	IRON ROD FOUND
(CW)	CONTROL WOODPOST
A.E.	ACCESS EASEMENT
U.E.	UTILITY EASEMENT
W.L.E.	WATER LINE EASEMENT
+	FIRE HYDRANT
+	GUY WIRE
+	POWER POLE
+	SIOS
+	TELEPHONE BOX
+	STORM SEWER MANHOLE
PRRCT	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
DRRCT	DEED RECORDS, ROCKWALL COUNTY, TEXAS
—E—	OVERHEAD ELECTRIC LINE
—B—	WIRE OR BARBED WIRE FENCE
—D—	CHAIN LINK FENCE
—O—	METAL PIPE FENCE

R.C. MYERS SURVEYING, LLC

"Registered Professional Land Surveyors"

406 BLOSSING COURT | 214-336-0636 Home
SUNNYVALE, TEXAS 75149 | (972) 412-4875 Fax
Robert C. Myers, R.P.L.S. 3393
rmysers@rcmyersurveying.com | Firm No. 10192933

Client: Saddle Star Land Development, LLC & First National Title Inc. Co.
Job No.: 3658 | Drawn by: RCM | Date: 08/20/2016 | Revised:

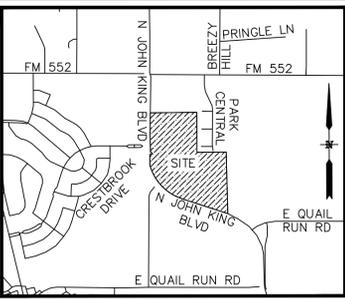
STANDARD LAND SURVEY
OF
14.995 ACRES
SITUATED IN THE
P.B. HARRISON SURVEY, ABST. NO. 97
CITY OF ROCKWALL, ROCKWALL COUNTY, TX

NO.	DIRECTION	DISTANCE
L1	N 89°38'44" E	50.00'
L2	N 0°38'27" W	40.00'
L3	S 89°38'05" W	34.29'

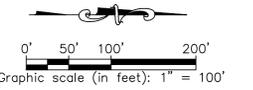
STONE CREEK SF, LTD
VOLUME 5011, PAGE 9

CITY OF ROCKWALL
STONE CREEK PHASE VI
CABINET I, PAGE 161

FEATHERSTONE
DRIVE
98' R.O.W.
CABINET H,
PAGE 33



VICINITY MAP
NOT TO SCALE



NOTE:
DETENTION TO BE PROVIDED PER CITY OF ROCKWALL
DRAINAGE SPECIFICATIONS AND STANDARDS

PHASING DATA

- PHASE ONE ~ 66 LOTS
- PHASE TWO ~ 77 LOTS
- PHASE THREE ~ 33 LOTS
- COMMON AREA/H.O.A. ~ 7 LOTS

**SADDLE STAR SOUTH STATEMENT OF SERVICE
MASTER PLAT
01/27/2020**

-THE SITE CURRENTLY DRAINS OVERLAND TO THE THOMPSON
BRANCH TO THE NORTH OF THE PROPOSED DEVELOPMENT NEAR
WHERE IT CROSSES UNDER JOHN KING BOULEVARD. DETENTION
AND/OR RETENTION WILL BE UTILIZED TO CONTROL THE FLOW.

LAND USE DATA

TOTAL AREA ~ 70.408 ACRES / 3,066,972 SQ. FT.
TOTAL OPEN SPACE ~ 14,220 ACRE / 619,436 SQ. FT.
LOT TYPE 'A' ~ 70' x 125'
LOT TYPE 'B' ~ 80' x 125'
TOTAL LOTS ~ 178
DENSITY ~ 2.49 DWELLING UNITS / ACRE
ZONED PLANNED DEVELOPMENT DISTRICT NO. 79

**14.995 ACRES PD APPLICATION AMENDMENT,
GARAGE MODIFICATION IN SUBJECT AREA**

MASTER PLAT/OPEN SPACE PLAN
SADDLE STAR SOUTH
PLANNED DEVELOPMENT DISTRICT 79
70.408 ACRES SITUATED IN THE
P.B. HARRISON SURVEY, ABSTRACT No. 97
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

ENGINEERING CONCEPTS & DESIGN L.P.
ENGINEERING / SURVEYING / PROJECT MANAGEMENT
201 WINDCO CIRCLE, SUITE 200 WYLIE, TX 75098
(972) 941-8400

DEVELOPER
K P A CONSULTING, INC.
3076 HAYS LANE ROCKWALL, TEXAS 75087
PAT ATKINS: 972-388-6383

OWNERS

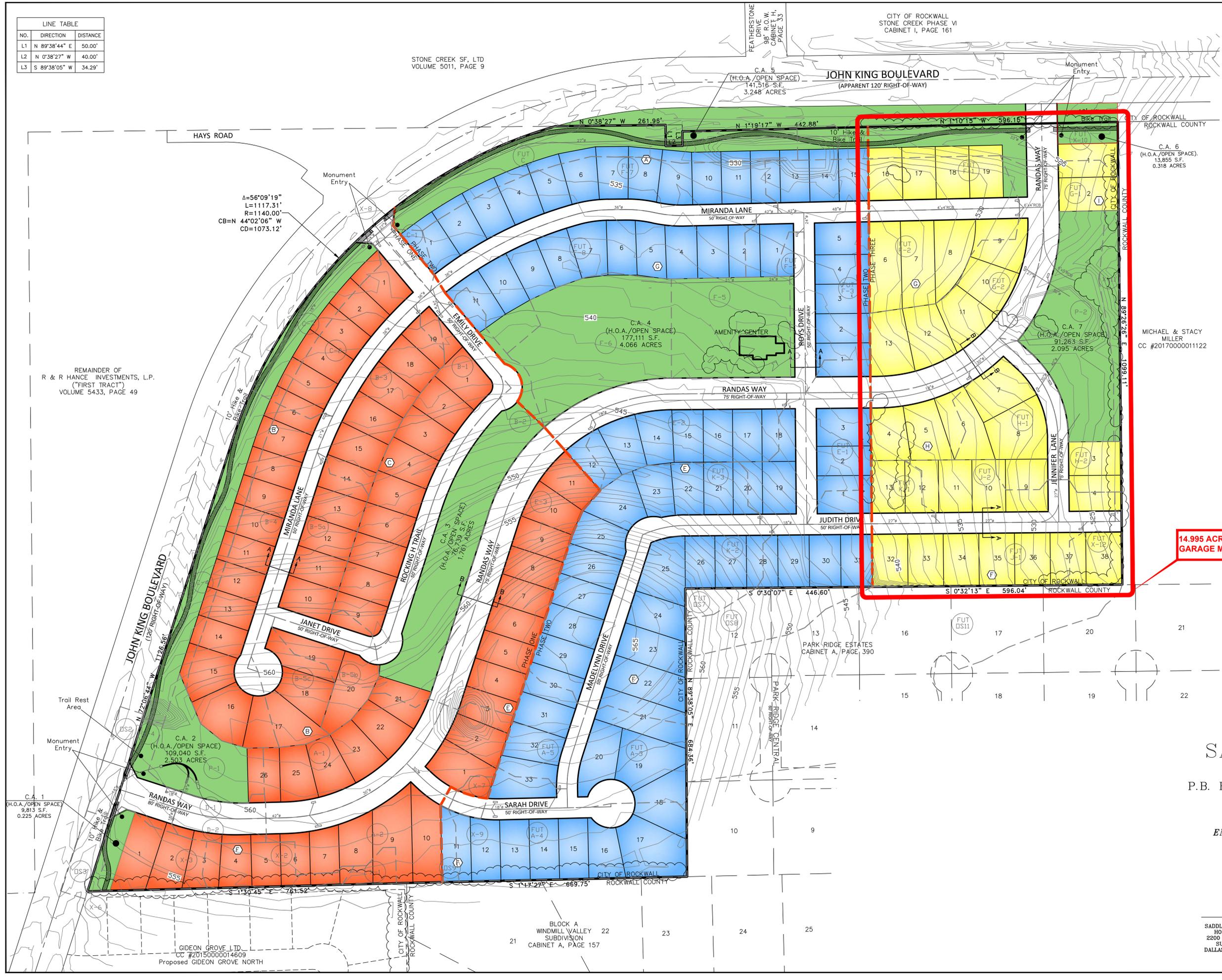
SADDLE STAR SOUTH HOLDINGS LLC 2200 ROSS AVENUE SUITE 4200W DALLAS, TEXAS 75201	CDT ROCKWALL/2017 LLC 6925 F.M. 2515 KAUFMAN, TEXAS 75142	GWENDOLYN REED 3076 HAYS LANE ROCKWALL, TEXAS 75087
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CASE# P2020-006

DATE: JULY 17, 2020

SHEET 1 OF 1

06812 Saddle Star\dwg\planning\06812 Concept Plan.dwg



REMAINDER OF
R & R HANCE INVESTMENTS, L.P.
("FIRST TRACT")
VOLUME 5433, PAGE 49

C.A. 1
(H.O.A./OPEN SPACE)
9,813 S.F.
0.225 ACRES

GIDEON GROVE LTD.
CC #2015000014609
Proposed GIDEON GROVE NORTH

BLOCK A
WINDMILL VALLEY
SUBDIVISION
CABINET A, PAGE 157

PARK RIDGE ESTATES
CABINET A, PAGE 390

MICHAEL & STACY
MILLER
CC #201700001122



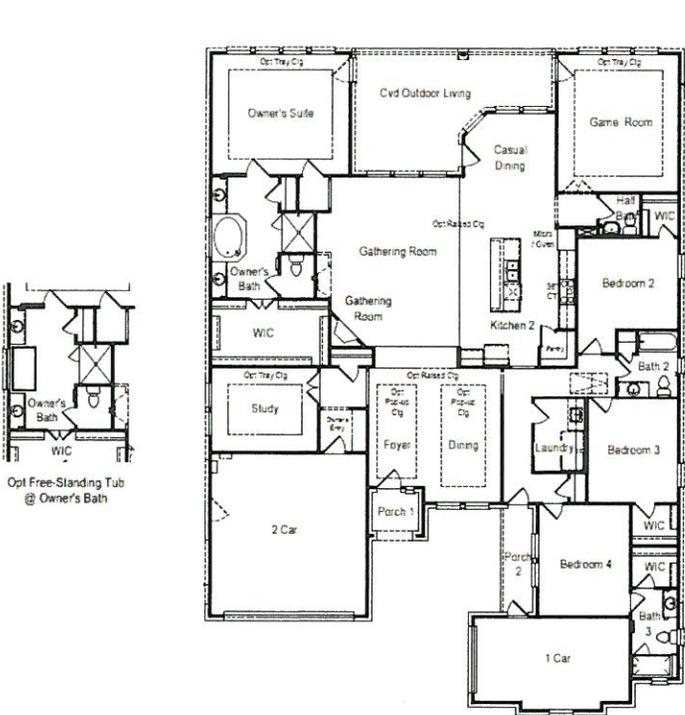
Example Elevations



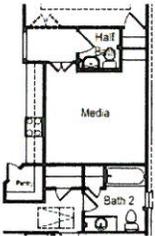
Example Elevations



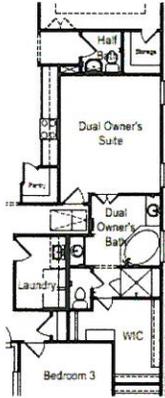
Example Floorplan (1 Car Swing w/ 2 Car Front Facing)



First Floor



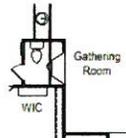
Opt Media to Bed 2



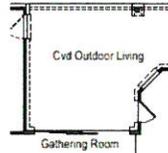
Opt Dual Owner's Suite to Bed 2 / Bath 2 / Bed 3



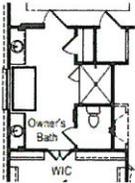
Opt Gourmet Kitchen 3



Opt Int Fireplace - Wall

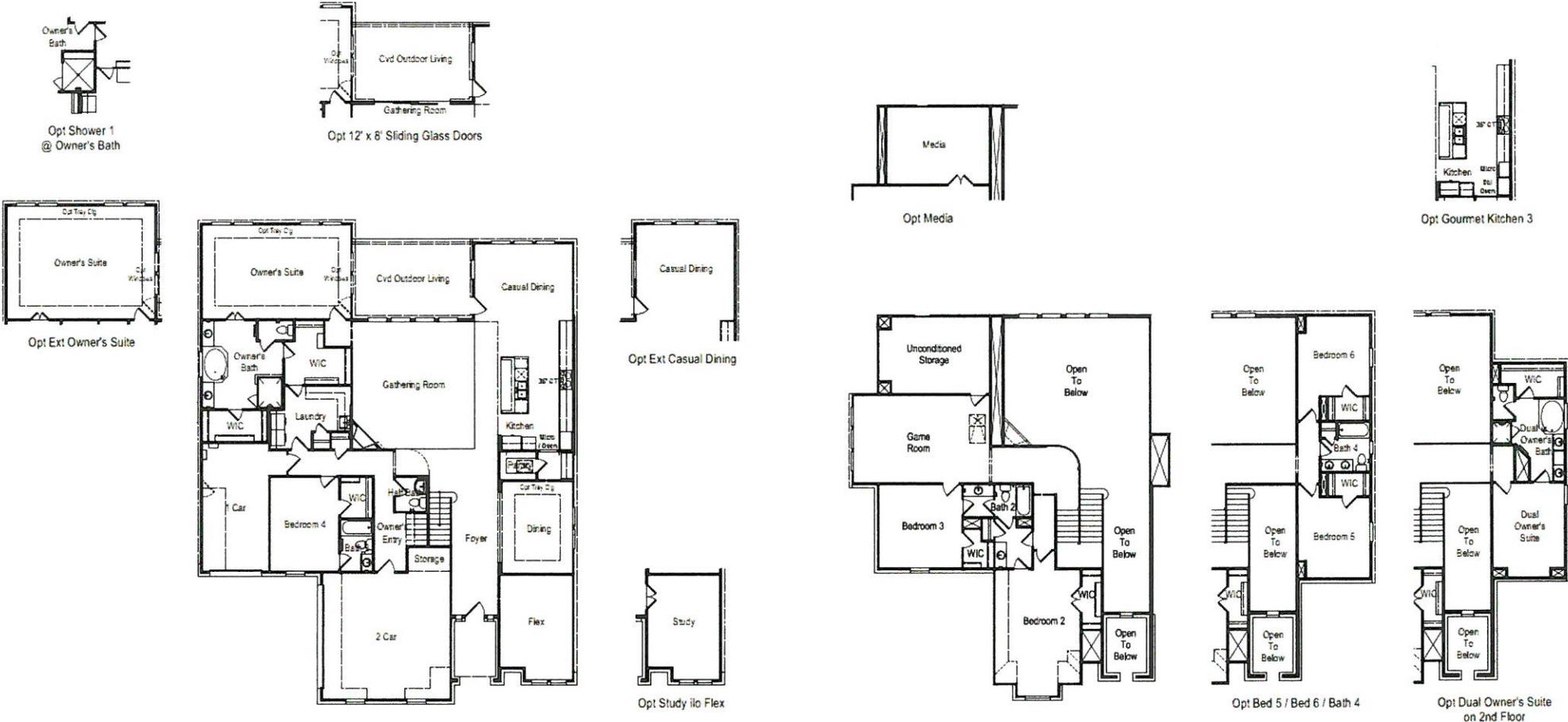


Opt 12'x8' Sliding Glass Door



Opt Free-Standing Tub @ Owner's Bath

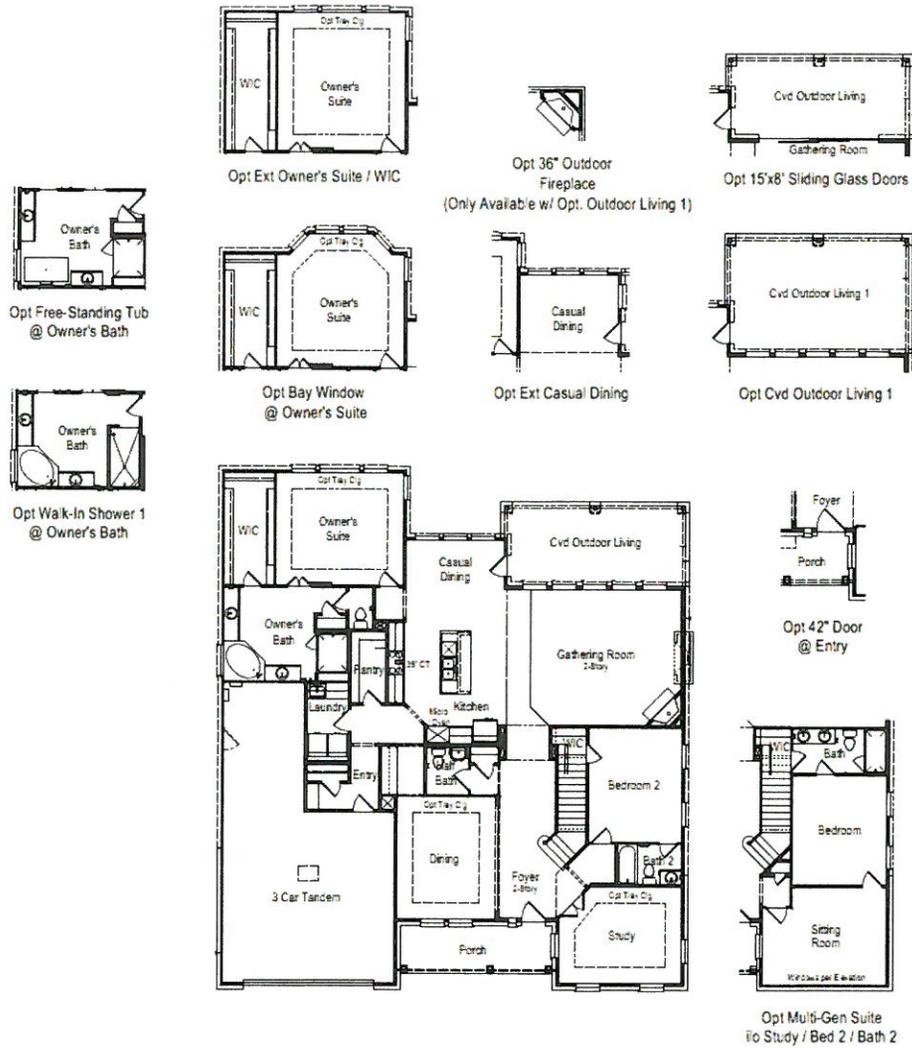
Example Floorplan (2 Car Swing w/ 1 Car Front Facing)



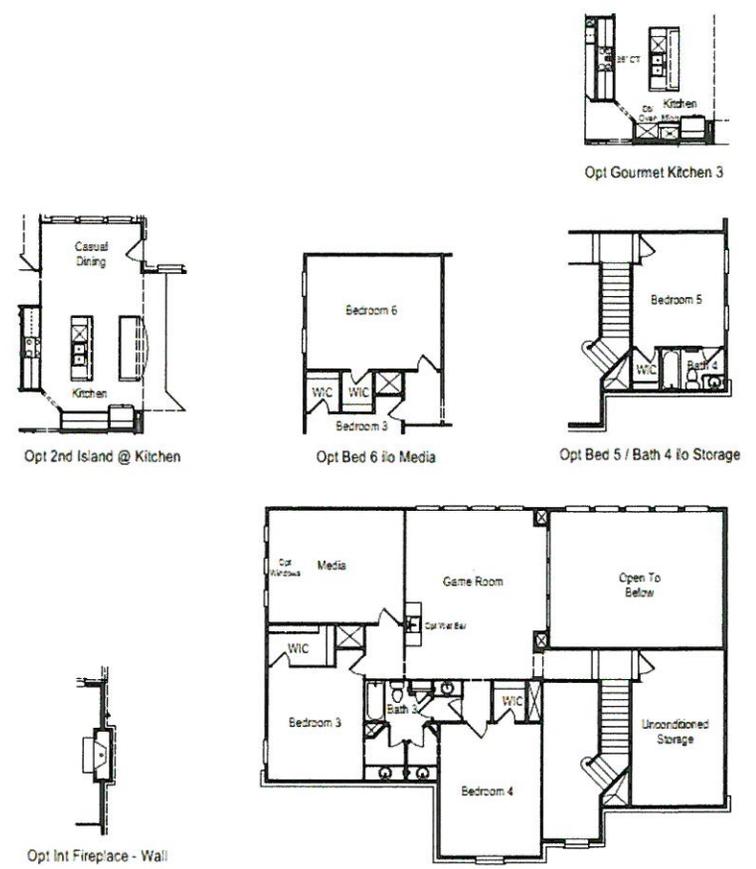
FIRST FLOOR/OPTIONS

SECOND FLOOR/OPTIONS

Example Floorplan (Flush 3 Car Tandem w/ Front Porch)

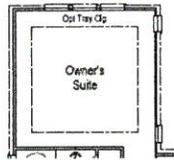


FIRST FLOOR/OPTIONS

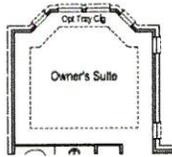


SECOND FLOOR/OPTIONS

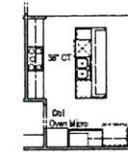
Example Floorplan (Slight Recess Front Facing 3-Car Tandem)



Opt Ext Owner's Suite



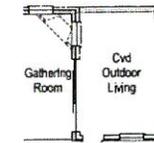
Opt Bay Window @ Owner's Suite



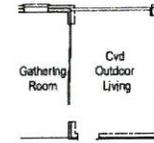
Opt Gourmet Kitchen 3



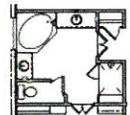
Opt 6'x8' Sliding Glass Door At Dining



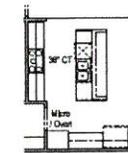
Opt 9'x8' Sliding Glass Doors At Gathering Room



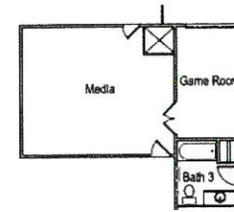
Opt 12'x8 Sliding Glass Doors At Gathering Room
-Not Available w/ mt. Fireplace - Corner



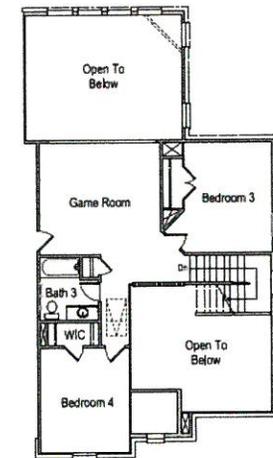
Opt Drop-in Corner Tub @ Owner's Suite



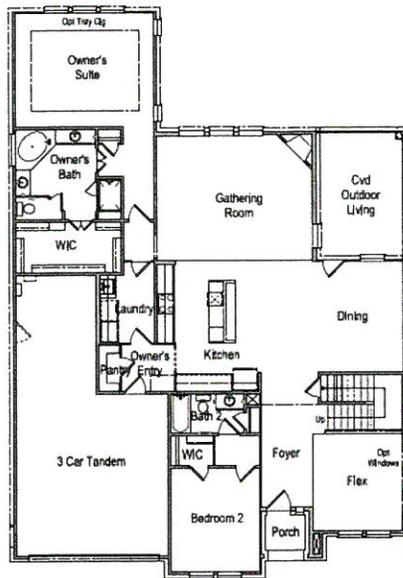
Opt Gourmet Kitchen 2



Opt Media



Opt Alt Laundry Layout includes Cabinets



Opt Study flo Flex



Opt Bed 5 / Bath 4
Not Available with Media Option

FIRST FLOOR/OPTIONS

SECOND FLOOR/OPTIONS

CITY OF ROCKWALL

ORDINANCE NO. 19-40

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO FURTHER AMEND PLANNED DEVELOPMENT DISTRICT 79 (PD-79) [ORDINANCE NO. 16-39] FOR THE PURPOSE OF AMENDING THE DEVELOPMENT STANDARDS AND CONCEPT PLAN ON A 70.408-ACRE TRACT OF LAND, ZONED PLANNED DEVELOPMENT DISTRICT 79 (PD-79) FOR SINGLE FAMILY 8.4 (SF-8.4) DISTRICT LAND USES, BEING IDENTIFIED AS TRACTS 1, 1-03, 1-5 & 2-03 OF THE P. B. HARRISON SURVEY, ABSTRACT NO. 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Pat Atkins of KPA Consulting, Inc. on behalf of the owners Gwen Reed, Saddle Star South Holdings, LLC, and CDT Rockwall/2017, LLC for the purpose of amending Planned Development District 79 (PD-79) [Ordinance No. 16-39] in order to change the development standards and concept plan for a 70.408-acre tract of land identified as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located east of the intersection of Featherstone Drive and John King Boulevard, and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 79 [Ordinance No. 16-39] and the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 16-39*;

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 4. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(g) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Open Space Master Plan
 - (2) Master Plat
 - (3) PD Site Plan
 - (4) Preliminary Plat
 - (5) Final Plat
- (c) *Open Space Master Plan*. An *Open Space Master Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan*, and shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property* shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Open Space Master Plan* for the development.
- (e) *PD Site Plan*. A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Preliminary Plat* application for the development.
- (f) *Preliminary Plat*. A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat* application may be processed by the City concurrently with a *PD Site Plan* application for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

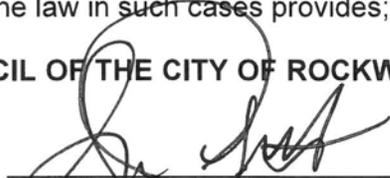
Section 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 9. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF NOVEMBER, 2019.



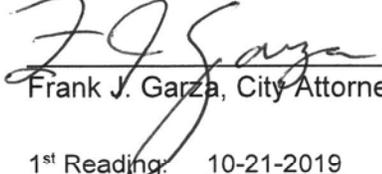
Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney



1st Reading: 10-21-2019

2nd Reading: 11-04-2019

Exhibit 'A':
Legal Description and Survey

TRACT 1:

BEING 44.292 acres of land situated in the P. B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being part of two tracts of land, the "*First Tract*" being a called 32.5 acres and the "*Second Tract*" being a called 32 acres, described in a Special Warranty Deed to R & R Hance Investments, LP., recorded as Instrument No. 2008-00396963 and in Volume 5433, Page 49 of the Deed Records of Rockwall County, Texas (DRRCT), SAVE AND EXCEPT the called "Parcel 16 (Parts 1 and 2)" conveyed to the City of Rockwall, recorded as Instrument No. 2007-00380919 and in Volume 5124, Page 210 (DRRCT), and being more particularly described as follows:

BEGINNING at a 1/2" capped iron rod stamped, "6081," found for corner in the northeasterly right-of-way line of John King Boulevard (120' right-of-way) at the common north corner of said "Part 1" of Parcel 16 and called "Parcel 15" conveyed to the City of Rockwall, recorded as Instrument No. 2009-00424601 and in Volume 5951, Page 84 (DRRCT), said point also being in the common line of said "First Tract" and a called 29.185 acre tract of land conveyed to Gideon Grove Ltd., recorded as Instrument No. 20150000014609 of the Official Public Records of Rockwall County, Texas;

THENCE North 72°06'44" West along the common northeasterly line of said John King Boulevard and said Part 1, a distance of 1,126.56 feet to a point for corner at the beginning of a tangent curve to the right, having a radius of 1,140.00 feet and a chord which bears North 44° 02' 06" West, a distance of 1,073.12-feet;

THENCE in the northwesterly direction along said curve to the right, and last mentioned common line, through a central angle of 56°09'19", an arc distance of 1,117.31-feet to a 1/2" iron rod with a yellow cap stamped, "RPLS 3963," set for corner at the end of said curve and at the most northerly corner of said Part 1;

THENCE North 00°38'27" West continuing along the east right-of-way line of said John King Boulevard, a distance of 261.96 feet to a "PK" nail set for corner at the southwest corner of said Part 2;

THENCE North 89°38'44" East along the south line of said Part 2, a distance of 50.00 feet to a 1/2" iron rod with a yellow cap found for the southeast corner thereof;

THENCE North 00°38'27" West along the east line of said Part 2, a distance of 40.00 feet to a 1/2" iron rod with a yellow cap found for the northeast corner thereof in the north line of said Second Tract and being in the south line of a tract of land conveyed to Randy and Gwen Reed, recorded in Volume 260, Page 1 (DRRCT);

THENCE North 89°38'05" East along the common line of last mentioned tracts, at 1,051.89 feet passing a 1/2" iron rod found for the southeast corner of said Reed tract common to the southwest corner of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT), and continuing along the north line of said Second Tract and the south line of said Park Ridge Estates, a total distance of 1,736.25 feet to a 3/8" iron rod found for the common east corner thereof, and being in the west line of Block A of Windmill Valley Subdivision, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 157 (PRRCT);

THENCE South 01°17'27" East along the common line of said Second Tract and said Block A, a distance of 669.75 feet to a 1/2" iron rod found for the southwest corner of said Block A, and being the northwest corner of said 29.185 acre tract;

THENCE South 01°30'45" East along the west line of said 29.185-acre tract and partially along the east lines of said First Tract and said Second Tract, a distance of 761.52 feet to the PLACE OF BEGINNING and Containing 44.292 acres, or 1,929,345 square feet, of land.

Exhibit 'A':
Legal Description and Survey

TRACT 2:

BEING 11.121 acres of land situated in the P. B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being all of a called 11.126 acre tract of land described in a Warranty Deed with Vendor's Lien to Randy Reed and wife, Gwen Reed, recorded in Volume 260, Page 1 of the Deed Records of Rockwall County, Texas (DRRCT), and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner near the edge of an asphalt surface in the east margin of Hays Road, said point being the common west corner of said Reed tract and a tract of land conveyed to Stephen L. Branch and Judy C. Branch, recorded in Volume 234, Page 527 (DRRCT);

THENCE North 89°26'12" East along the common line of last mentioned tracts, a distance of 1,092.52-feet to a 1/2" iron rod found for the common east corner thereof, and being in the west line of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT);

THENCE South 00°30'07" East along the common line of said Reed tract and said Park Ridge Estates, a distance of 446.60 feet to a 1/2" iron rod found for the common south corner thereof, and being in the north line of a called 32 acre tract described, in a Special Warranty Deed to R & R Hance Investments, L.P., as "Second Tract," recorded as Instrument No. 2008-00396963 and in Volume 5433, Page 49 (DRRCT);

THENCE South 89°38'05" West along the common line of said Second Tract and said Reed tract, a distance of 1,086.19-feet to a 1/2" iron rod found at the southwest corner of said Reed tract and being in the east margin of said Hays Road;

THENCE North 01°19'17" West along the west line of said Reed tract and the east line of said Hays Road, a distance of 442.88-feet to the PLACE OF BEGINNING and Containing 11.121-acres, or 484,450 square feet, of land.

TRACT 3:

BEING 14.955 acres of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and all of a called 15.00 acre tract of land described in a Warranty Deed to Steve L. Branch and wife Judy C. Branch, recorded in Volume 234, Page 527 of the Deed Records of Rockwall County, Texas (DRRCT), and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the original Hays Road at the common west corner of said 15.00 acre tract and a tract of land described in a deed to Randy and Gwen Reed, recorded in Volume 260, Page 1 (DRRCT);

THENCE North 01°10'15" West, continuing along and within Hays Road and with the west line of said 15.00 acre Branch tract, a distance of 596.15 feet, to a 1/2" iron rod found for corner at the northwest corner thereof, common to the southwest corner of a called 15.00 acre tract of land described in a deed to Gerald Glen Cox and wife Rosalba Cox, recorded in Volume 3295 Page 9, (DRRCT);

THENCE North 89°26'26" East, along the common line of last mentioned tracts, a distance of 1,099.11 feet, to a point for corner at the common east corner thereof, and also being in the west line of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT), from which a 1/2" iron rod with a yellow cap stamped "5034" bears South 68°26'26" West, a distance of 0.18 feet;

Exhibit 'A':
Legal Description and Survey

THENCE South 00°32'13" East, along the common line of said Branch tract and said Park Ridge Estates, a distance of 596.04 feet, to a 1/2" iron rod found for corner at the southeast corner thereof, common to the northeast corner of said Reed tract;

THENCE South 89°26'12" West, along the common line of last mentioned tracts, a distance of 1,092.52 feet to PLACE OF BEGINNING and Containing 653,191 square feet, or 14.995 acres of land.

Exhibit 'C':
Development Standards

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 8.4 (SF-8.4) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	70' x 125'	8,750 SF	143	78.41%
B	80' x 125'	10,000 SF	33	21.59%
<i>Maximum Permitted Units:</i>			176	100.00%

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, the development standards stipulated by the Single Family 8.4 (SF-8.4) District, as specified by Article V, *District Development Standards*, of the Unified Development Code are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.50 dwelling units per gross acre of land; however, in no case should the proposed development exceed 176 units. All lots shall conform to the standards depicted in *Table 2*, which is as follows:

Table 2: Lot Dimensional Requirements

	Lot Type >	
	A	B
<i>Minimum Lot Width</i> ⁽¹⁾	70'	80'
<i>Minimum Lot Depth</i>	125'	125'
<i>Minimum Lot Area</i>	8,750 SF	10,000 SF
<i>Minimum Front Yard Setback</i> ^{(2) & (5)}	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	10'	10'
<i>Minimum Length of Driveway Pavement</i>	25'	25'
<i>Maximum Height</i> ⁽³⁾	30'	30'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	20'	20'
<i>Minimum Area/Dwelling Unit (SF)</i>	2,700 SF	2,700 SF
<i>Maximum Lot Coverage</i>	65%	65%
<i>Permitted Encroachment into Required Setbacks</i> ⁽⁵⁾	Allowed	Allowed

General Notes:

- 1: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single-family home.
- 4: As measured from the rear yard property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks (Adjacent to a Street)* and shall not encroach into public right-of-way [a *Sunroom* is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces].

4. *Building Standards.* All development shall adhere to the following building standards:

Exhibit 'C':
Development Standards

- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted through a Specific Use Permit (SUP) only.
 - (b) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
 - (c) *Garage Orientation.* A minimum of 50% of the garages for the *Type A* lots and 100% of the *Type B* lots shall be oriented in a *traditional swing* (or *j-swing*) configuration. The remainder of garages maybe configured in a front entry configuration with a minimum setback of 20-feet (i.e. *allowing the garage to be flush with the front façade of the primary structure*). In this case the front façade of the primary structure does not include a permitted encroachment (e.g. *a porch, sunroom, etcetera*) allowed in *Table 2* above. All garage configurations that are not front entry shall meet the requirements of Article VI, *Parking and Loading*, of the Unified Development Code.
5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3 : Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	70' x 125'	(1), (2), (3), (4)
B	80' x 125'	(1), (2), (3), (4)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on John King Boulevard shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
- (3) Permitted encroachments (i.e. *porch and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.

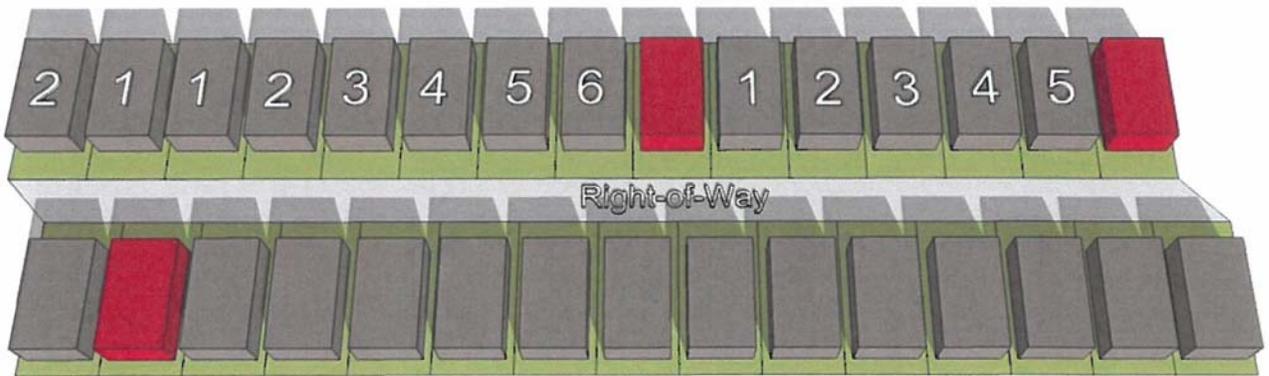
Exhibit 'C':
Development Standards

- (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Illustration 1: Properties line up on the opposite side of the street. Where RED is the subject property.



Illustration 2: Properties do not line up on opposite side of the street. Where RED is the subject property.



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Wood Fences.** All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters, and be a maximum of six (6) feet in height.
 - (b) **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 - (c) **Corner Lots.** Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar

Exhibit 'C':
Development Standards

fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.

- (d) *Solid Fences (including Wood Fences)*. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

7. *Landscape and Hardscape Standards.*

- (1) *Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within this subdivision:

(a) *Canopy/Shade Trees*. Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak.

(b) *Accent/Ornamental/Under-Story Trees*. Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.

- (2) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

(a) *Landscape Buffer and Sidewalks (John King Boulevard)*. A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot curvilinear sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard.

- (3) *Streetscape Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), all residential, single family lots situated within the proposed subdivision shall be landscaped with canopy trees from the list stipulated by *Section 7(1)* of this ordinance in the following sizes and proportions:

(i) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.

(ii) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two (2), three (3) inch caliper trees shall be planted in the side yard facing the street.

Exhibit 'C':
Development Standards

Note: For the purposes of this section only [i.e. Section 7(3)], the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

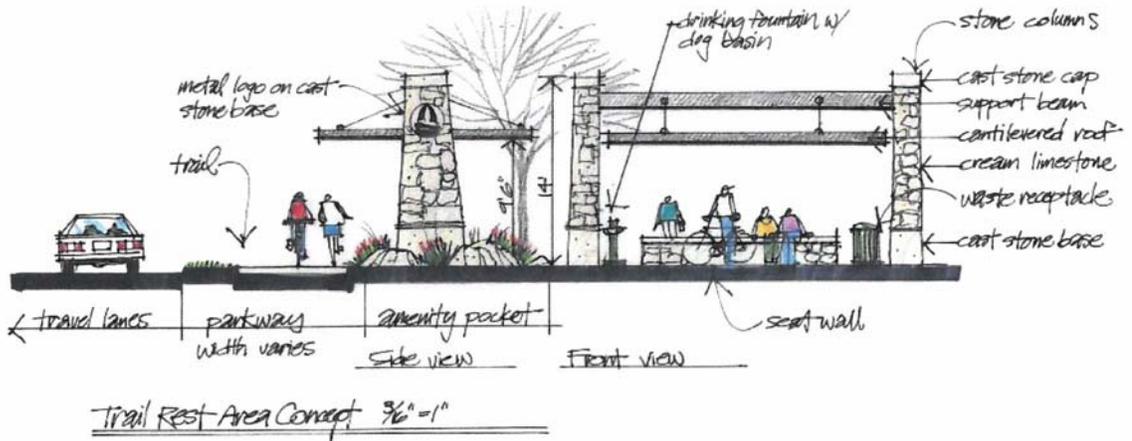
- (4) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association.
- (5) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
- 8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- 9. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- 10. *Sidewalks.* At a maximum, all sidewalks adjacent to a street shall begin two (2) feet behind the right-of-way line and be five (5) feet in overall width.
- 11. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- 12. *Open Space.* The development shall consist of a minimum of 20% open space (*or 14.082-acres*), and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. All open space areas shall be maintained by the Homeowner's Association (HOA).

Continued on Next Page ...

- 13. *Trail Rest Area.* The developer shall be responsible for the construction of a *Trail Rest Area* that generally conforms to the rest area depicted in *Figure 1 (below)*.

Figure 1: *Trail Rest Area Concept*

Exhibit 'C':
Development Standards



14. *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
15. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, screening fences associated with this development.
16. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

Exhibit 'C':
Development Standards

4. *Building Standards.* All development shall adhere to the following building standards:

- a. *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and, stucco (*i.e. three [3] part stucco or a comparable -- to be determined by staff*) may be used for up to 50% of the masonry requirement; however, stucco (*i.e. three [3] part stucco or a comparable -- to be determined by staff*) shall be permitted through a Specific Use Permit (SUP) only.
- b. *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- c. *Garage Orientation.* ~~A minimum of 50% of the garages for the Type A lots and 100% of the Type B lots shall be oriented in a traditional swing (or j-swing) configuration. The remainder of garages maybe configured in a front entry configuration with a minimum setback of 20 feet (i.e. allowing the garage to be flush with the front façade of the primary structure). In this case the front façade of the primary structure does not include a permitted encroachment (e.g. a porch, sunroom, etcetera) allowed in Table 2 above. All garage configurations that are not front entry shall meet the requirements of Article VI, *Parking and Loading*, of the Unified Development Code.~~ This development shall adhere to the following garage orientation requirements:
 1. *Type A Lots.* 50% of the *Type A* lots shall be oriented in a *traditional swing or j-swing* garage orientation (*i.e. where the two [2] car garage is situated facing the side property line and the driveway swings into the garage in a 'j' configuration*). These garages will be permitted to have a one (1) car garage facing the street if it is setback a minimum of 20-feet from the front façade of the single-family home. The remaining 50% of the *Type A* lots may be configured in a flat front entry configuration with a minimum setback of 25-feet (i.e. allowing the garage to be flush with the front façade of the primary structure). In this case the front façade of the primary structure does not include the permitted encroachments outline in *Table 2* above.
 2. *Type B Lots.* The *Type B* lots (*i.e. the yellow lots depicted in Exhibit 'B'*) shall adhere to the following garage configurations:
 - a. 30% of the *Type B* lots may be oriented in a flat front entry configuration with a minimum setback of 25-feet (i.e. allowing the garage to be flush with the front façade of the primary structure).
 - b. 70% of the *Type B* lots may be configured in a traditional swing or modified swing (i.e. where a one [1] or two [2] car garage is situated facing the side property line and the driveway swings into the garage in a 'j' configuration). On lots with a one (1) car garage configured in the modified swing a two (2) car garage will be required to be setback behind the one (1) car garage. Garages with a traditional swing will be permitted to have a one (1) car

Exhibit 'C':
Development Standards

garage facing the street if it is setback a minimum of 20-feet from the front façade of the single-family home.

5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	70' x 125'	(1), (2), (3), (4)
B	80' x 125'	(1), (2), (3), (4)

1. Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
2. Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on John King Boulevard shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
3. Permitted encroachments (*i.e. porch and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
4. Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

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CITY OF ROCKWALL

ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 79 (PD-79) [ORDINANCE NO. 19-40] THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 79 (PD-79) FOR THE PURPOSE OF AMENDING THE DEVELOPMENT STANDARDS ON A 70.408-ACRE TRACT OF LAND, ZONED PLANNED DEVELOPMENT DISTRICT 79 (PD-79) FOR SINGLE FAMILY 8.4 (SF-8.4) DISTRICT LAND USES, BEING IDENTIFIED AS TRACTS 1, 1-03, 1-5 & 2-03 OF THE P. B. HARRISON SURVEY, ABSTRACT NO. 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Pat Atkins of KPA Consulting, Inc. on behalf of the owners CDT Rockwall/2017, LLC for the purpose of amending Planned Development District 79 (PD-79) [Ordinance No. 19-40] in order to change the development standards for a 70.408-acre tract of land identified as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located east of the intersection of Featherstone Drive and John King Boulevard, and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 79 [Ordinance No. 19-40] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 19-40*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(g) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Open Space Master Plan
 - (2) Master Plat
 - (3) PD Site Plan
 - (4) Preliminary Plat
 - (5) Final Plat
- (c) *Open Space Master Plan.* An *Open Space Master Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan*, and shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property* shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Open Space Master Plan* for the development.
- (e) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Preliminary Plat* application for the development.
- (f) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat* application may be processed by the City concurrently with a *PD Site Plan* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 8TH DAY OF SEPTEMBER, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 17, 2020

2nd Reading: September 8, 2020

Exhibit 'A':
Legal Description and Survey

TRACT 1:

BEING 44.292 acres of land situated in the P. B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being part of two tracts of land, the "First Tract" being a called 32.5 acres and the "Second Tract" being a called 32 acres, described in a Special Warranty Deed to R & R Hance Investments, LP., recorded as Instrument No. 2008-00396963 and in Volume 5433, Page 49 of the Deed Records of Rockwall County, Texas (DRRCT), SAVE AND EXCEPT the called "Parcel 16 (Parts 1 and 2)" conveyed to the City of Rockwall, recorded as Instrument No. 2007-00380919 and in Volume 5124, Page 210 (DRRCT), and being more particularly described as follows:

BEGINNING at a 1/2" capped iron rod stamped, "6081," found for corner in the northeasterly right-of-way line of John King Boulevard (120' right-of-way) at the common north corner of said "Part 1" of Parcel 16 and called "Parcel 15" conveyed to the City of Rockwall, recorded as Instrument No. 2009-00424601 and in Volume 5951, Page 84 (DRRCT), said point also being in the common line of said "First Tract" and a called 29.185 acre tract of land conveyed to Gideon Grove Ltd., recorded as Instrument No. 20150000014609 of the Official Public Records of Rockwall County, Texas;

THENCE North 72°06'44" West along the common northeasterly line of said John King Boulevard and said Part 1, a distance of 1,126.56 feet to a point for corner at the beginning of a tangent curve to the right, having a radius of 1,140.00 feet and a chord which bears North 44° 02' 06" West, a distance of 1,073.12-feet;

THENCE in the northwesterly direction along said curve to the right, and last mentioned common line, through a central angle of 56°09'19", an arc distance of 1,117.31-feet to a 1/2" iron rod with a yellow cap stamped, "RPLS 3963," set for corner at the end of said curve and at the most northerly corner of said Part 1;

THENCE North 00°38'27" West continuing along the east right-of-way line of said John King Boulevard, a distance of 261.96 feet to a "PK" nail set for corner at the southwest corner of said Part 2;

THENCE North 89°38'44" East along the south line of said Part 2, a distance of 50.00 feet to a 1/2" iron rod with a yellow cap found for the southeast corner thereof;

THENCE North 00°38'27" West along the east line of said Part 2, a distance of 40.00 feet to a 1/2" iron rod with a yellow cap found for the northeast corner thereof in the north line of said Second Tract and being in the south line of a tract of land conveyed to Randy and Gwen Reed, recorded in Volume 260, Page 1 (DRRCT);

THENCE North 89°38'05" East along the common line of last mentioned tracts, at 1,051.89 feet passing a 1/2" iron rod found for the southeast corner of said Reed tract common to the southwest corner of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT), and continuing along the north line of said Second Tract and the south line of said Park Ridge Estates, a total distance of 1,736.25 feet to a 3/8" iron rod found for the common east corner thereof, and being in the west line of Block A of Windmill Valley Subdivision, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 157 (PRRCT);

THENCE South 01°17'27" East along the common line of said Second Tract and said Block A, a distance of 669.75 feet to a 1/2" iron rod found for the southwest corner of said Block A, and being the northwest corner of said 29.185 acre tract;

THENCE South 01°30'45" East along the west line of said 29.185-acre tract and partially along the east lines of said First Tract and said Second Tract, a distance of 761.52 feet to the PLACE OF BEGINNING and Containing 44.292 acres, or 1,929,345 square feet, of land.

Exhibit 'A':
Legal Description and Survey

TRACT 2:

BEING 11.121 acres of land situated in the P. B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being all of a called 11.126 acre tract of land described in a Warranty Deed with Vendor's Lien to Randy Reed and wife, Gwen Reed, recorded in Volume 260, Page 1 of the Deed Records of Rockwall County, Texas (DRRCT), and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner near the edge of an asphalt surface in the east margin of Hays Road, said point being the common west corner of said Reed tract and a tract of land conveyed to Stephen L. Branch and Judy C. Branch, recorded in Volume 234, Page 527 (DRRCT);

THENCE North 89°26'12" East along the common line of last mentioned tracts, a distance of 1,092.52-feet to a 1/2" iron rod found for the common east corner thereof, and being in the west line of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT);

THENCE South 00°30'07" East along the common line of said Reed tract and said Park Ridge Estates, a distance of 446.60 feet to a 1/2" iron rod found for the common south corner thereof, and being in the north line of a called 32 acre tract described, in a Special Warranty Deed to R & R Hance Investments, L.P., as "*Second Tract*," recorded as Instrument No. 2008-00396963 and in Volume 5433, Page 49 (DRRCT);

THENCE South 89°38'05" West along the common line of said Second Tract and said Reed tract, a distance of 1,086.19-feet to a 1/2" iron rod found at the southwest corner of said Reed tract and being in the east margin of said Hays Road;

THENCE North 01°19'17" West along the west line of said Reed tract and the east line of said Hays Road, a distance of 442.88-feet to the PLACE OF BEGINNING and Containing 11.121-acres, or 484,450 square feet, of land.

TRACT 3:

BEING 14.955 acres of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and all of a called 15.00 acre tract of land described in a Warranty Deed to Steve L. Branch and wife Judy C. Branch, recorded in Volume 234, Page 527 of the Deed Records of Rockwall County, Texas (DRRCT), and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the original Hays Road at the common west corner of said 15.00 acre tract and a tract of land described in a deed to Randy and Gwen Reed, recorded in Volume 260, Page 1 (DRRCT);

THENCE North 01°10'15" West, continuing along and within Hays Road and with the west line of said 15.00 acre Branch tract, a distance of 596.15 feet, to a 1/2" iron rod found for corner at the northwest corner thereof, common to the southwest corner of a called 15.00 acre tract of land described in a deed to Gerald Glen Cox and wife Rosalba Cox, recorded in Volume 3295 Page 9, (DRRCT);

THENCE North 89°26'26" East, along the common line of last mentioned tracts, a distance of 1,099.11 feet, to a point for corner at the common east corner thereof, and also being in the west line of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT), from which a 1/2" iron rod with a yellow cap stamped "5034" bears South 68°26'26" West, a distance of 0.18 feet;

Exhibit 'A':
Legal Description and Survey

THENCE South 00°32'13" East, along the common line of said Branch tract and said Park Ridge Estates, a distance of 596.04 feet, to a 1/2" iron rod found for corner at the southeast corner thereof, common to the northeast corner of said Reed tract;

THENCE South 89°26'12" West, along the common line of last-mentioned tracts, a distance of 1,092.52 feet to PLACE OF BEGINNING and Containing 653,191 square feet, or 14.995 acres of land.

DRAFT
ORDINANCE
07.28.2020

Exhibit 'B':
Concept Plans

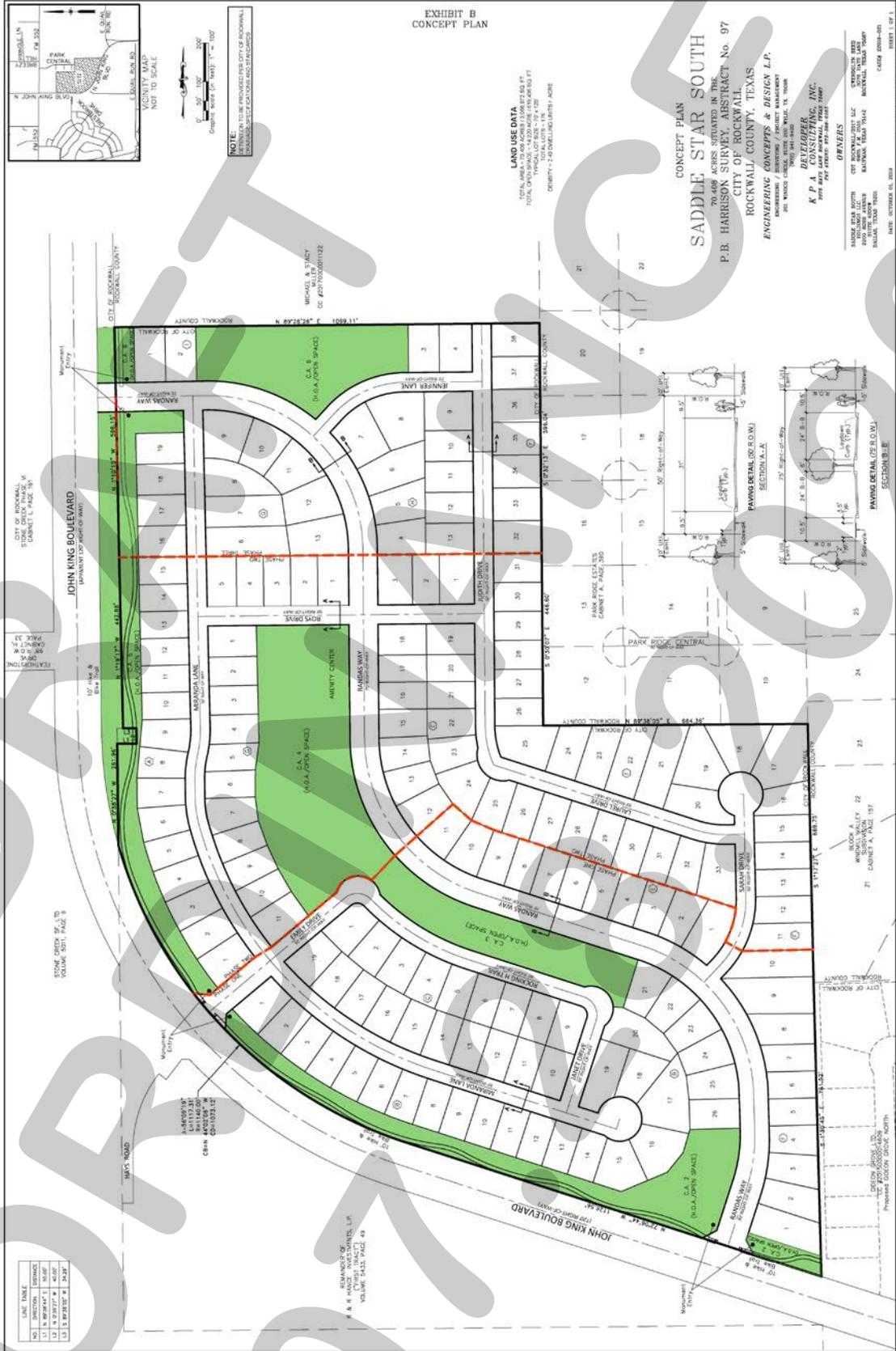


Exhibit 'B': Concept Plans

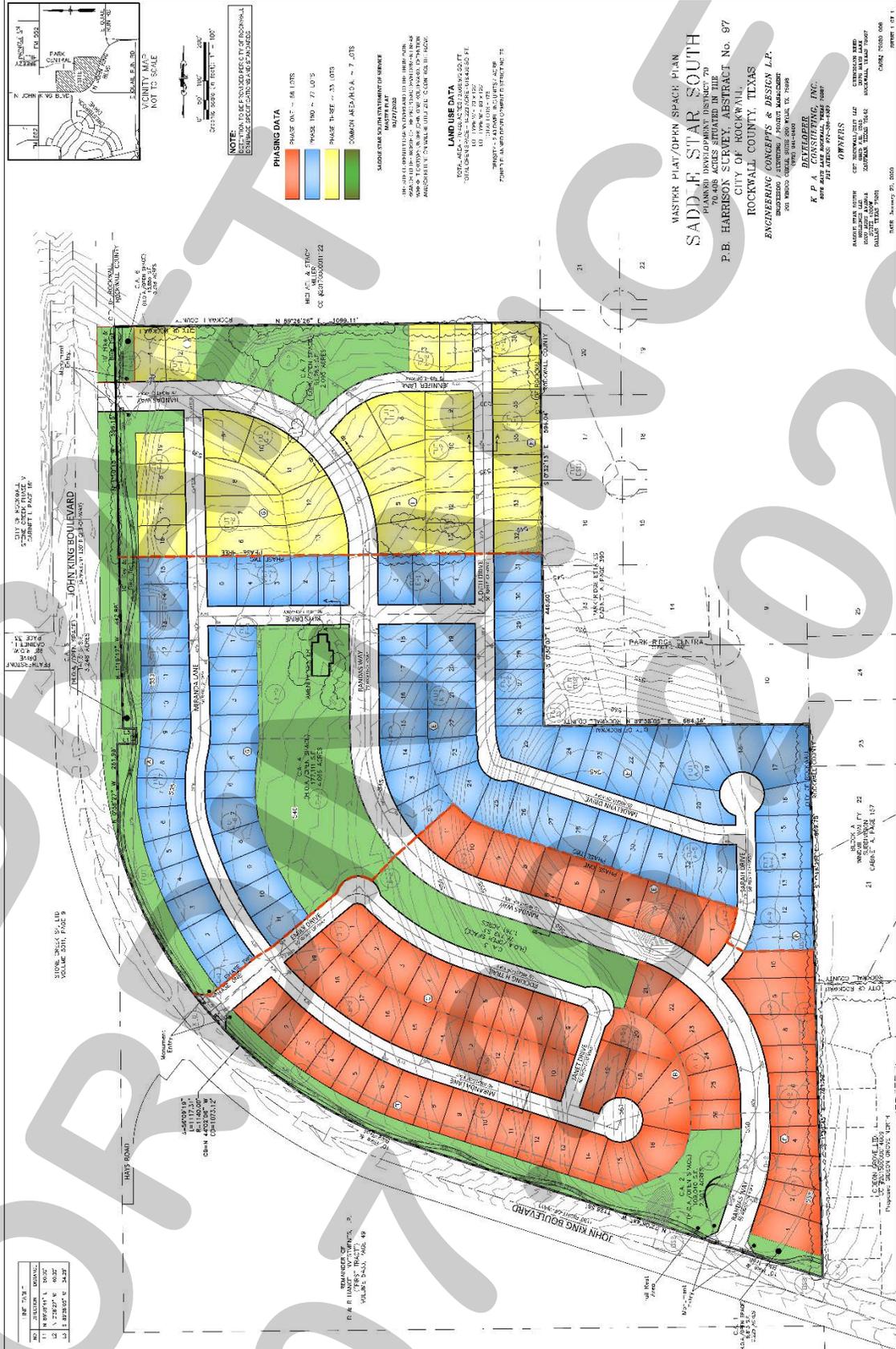


Exhibit 'C':
Development Standards

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 8.4 (SF-8.4) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	70' x 125'	8,750 SF	143	78.41%
B	80' x 125'	10,000 SF	33	21.59%
<i>Maximum Permitted Units:</i>			176	100.00%

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, the development standards stipulated by the Single Family 8.4 (SF-8.4) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.50 dwelling units per gross acre of land; however, in no case should the proposed development exceed 176 units. All lots shall conform to the standards depicted in *Table 2*, which is as follows:

Table 2: Lot Dimensional Requirements

	Lot Type >	
	A	B
<i>Minimum Lot Width</i> ⁽¹⁾	70'	80'
<i>Minimum Lot Depth</i>	125'	125'
<i>Minimum Lot Area</i>	8,750 SF	10,000 SF
<i>Minimum Front Yard Setback</i> ^{(2) & (5)}	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	10'	10'
<i>Minimum Length of Driveway Pavement</i>	25'	25'
<i>Maximum Height</i> ⁽³⁾	30'	30'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	20'	20'
<i>Minimum Area/Dwelling Unit (SF)</i>	2,700 SF	2,700 SF
<i>Maximum Lot Coverage</i>	65%	65%
<i>Permitted Encroachment into Required Setbacks</i> ⁽⁵⁾	Allowed	Allowed

General Notes:

1. The minimum lot width shall be measured at the *Front Yard Building Setback*.
2. The location of the *Front Yard Building Setback* as measured from the front property line.
3. The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single-family home.
4. As measured from the rear yard property line.
5. Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks (Adjacent to a Street)* and shall not encroach into public right-of-way [a *Sunroom* is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces].

Exhibit 'C':
Development Standards

4. *Building Standards.* All development shall adhere to the following building standards:

- a. *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted through a Specific Use Permit (SUP) only.
- b. *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- c. *Garage Orientation.* This development shall adhere to the following garage orientation requirements:
 1. *Type A Lots.* 50% of the *Type A* lots shall be oriented in a *traditional swing* or *j-swing* garage orientation (i.e. where the two [2] car garage is situated facing the side property line and the driveway swings into the garage in a 'j' configuration). These garages will be permitted to have a one (1) car garage facing the street if it is setback a minimum of 20-feet from the front façade of the single-family home. The remaining 50% of the *Type A* lots may be configured in a flat front entry configuration with a minimum setback of 25-feet (i.e. allowing the garage to be flush with the front façade of the primary structure). In this case the front façade of the primary structure does not include the permitted encroachments outline in *Table 2* above.
 2. *Type B Lots.* The *Type B* lots (i.e. the yellow lots depicted in *Exhibit 'B'*) shall adhere to the following garage configurations:
 - a. 30% of the *Type B* lots may be oriented in a flat front entry configuration with a minimum setback of 25-feet (i.e. allowing the garage to be flush with the front façade of the primary structure).
 - b. 70% of the *Type B* lots may be configured in a *traditional swing* or *modified swing* (i.e. where a one [1] or two [2] car garage is situated facing the side property line and the driveway swings into the garage in a 'j' configuration). On lots with a one (1) car garage configured in the *modified swing* a two (2) car garage will be required to be setback behind the one (1) car garage. Garages with a *traditional swing* will be permitted to have a one (1) car garage facing the street if it is setback a minimum of 20-feet from the front façade of the single-family home.

Exhibit 'C':
Development Standards

5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	70' x 125'	(1), (2), (3), (4)
B	80' x 125'	(1), (2), (3), (4)

1. Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
2. Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on John King Boulevard shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
3. Permitted encroachments (*i.e. porch and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
4. Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Continued on Next Page ...

Exhibit 'C':
Development Standards

Illustration 1: Properties line up on the opposite side of the street. Where RED is the subject property.



Illustration 2: Properties do not line up on opposite side of the street. Where RED is the subject property.



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
1. **Wood Fences.** All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters, and be a maximum of six (6) feet in height.
 2. **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 3. **Corner Lots.** Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property

Exhibit 'C':
Development Standards

line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.

4. *Solid Fences (including Wood Fences)*. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

7. *Landscape and Hardscape Standards.*

- a. *Landscape*. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within this subdivision:

1. *Canopy/Shade Trees*. Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak.
2. *Accent/Ornamental/Under-Story Trees*. Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.

- b. *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

1. *Landscape Buffer and Sidewalks (John King Boulevard)*. A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot curvilinear sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard.

- c. *Streetscape Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), all residential, single family lots situated within the proposed subdivision shall be landscaped with canopy trees from the list stipulated by *Section 7(1)* of this ordinance in the following sizes and proportions:

1. Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
2. Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two (2), three (3) inch caliper trees shall be planted in the side yard facing the street.

Note: For the purposes of this section only [i.e. Section 7(3)], the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

Exhibit 'C':
Development Standards

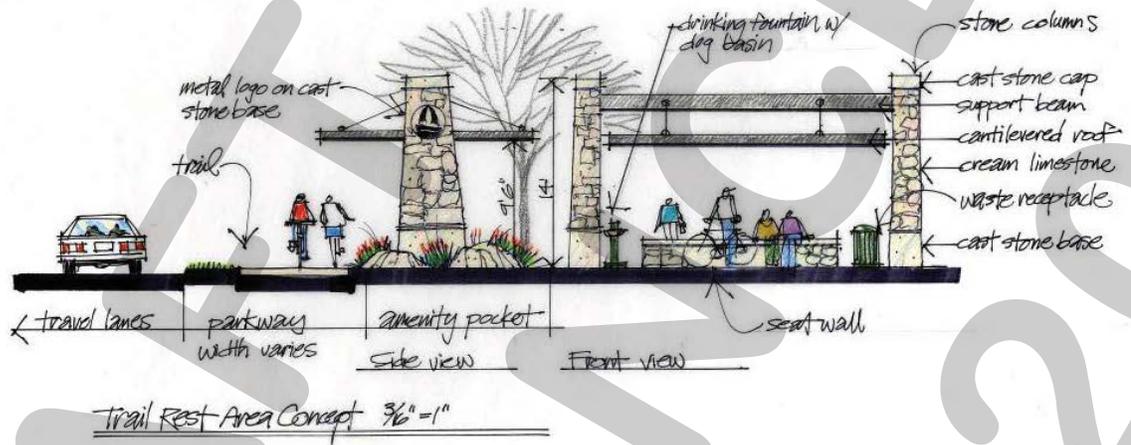
- d. *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association.
- e. *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
9. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
10. *Sidewalks.* At a maximum, all sidewalks adjacent to a street shall begin two (2) feet behind the right-of-way line and be five (5) feet in overall width.
11. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
12. *Open Space.* The development shall consist of a minimum of 20% open space (*or 14.082-acres*), and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. All open space areas shall be maintained by the Homeowner's Association (HOA).

Continued on Next Page ...

Exhibit 'C':
Development Standards

13. *Trail Rest Area*. The developer shall be responsible for the construction of a *Trail Rest Area* that generally conforms to the rest area depicted in *Figure 1 (below)*.

Figure 1: *Trail Rest Area Concept*



14. *Neighborhood Signage*. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
15. *Homeowner's Association (HOA)*. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, screening fences associated with this development.
16. *Variances*. The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/23/2020

PROJECT NUMBER: Z2020-032
PROJECT NAME: SUP for 481 Blanche Drive
SITE ADDRESS/LOCATIONS: 481 BLANCHE DR, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-771-7740
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	07/21/2020	Approved w/ Comments

07/21/2020: Z2020-032; Specific Use Permit (SUP) for Residential Infill for 481 Blanche Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.165-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, and addressed as 481 Blanche Drive.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rmiller@rockwall.com.

M.3 For reference, include the case number (Z2020-032) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 Prior to the issuance of a building permit the subject property will need to be replatted.

M.7 Please review the attached Draft Ordinance prior to the July 28, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than August 4, 2020.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 4, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 11, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 28, 2020.

I.9 The projected City Council meeting dates for this case will be August 17, 2020 (1st Reading) and September 8, 2020 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/23/2020	Approved w/ Comments

07/23/2020: M - Must replat the property to include a 10' Utility easement on the front and back property lines.

I - Retaining walls 3' and over must be engineered. All retaining walls to be rock or stone faced.

I - I - Will need a driveway culvert. The engineer will need to analyze the drainage area, calculate the required size of the culvert, and include 4:1 sloped headwalls per City Standards.

I - Minimum Culvert size is 18" RCP pipe.

I - Headwalls must start past the driveway radius.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	07/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2020	Approved

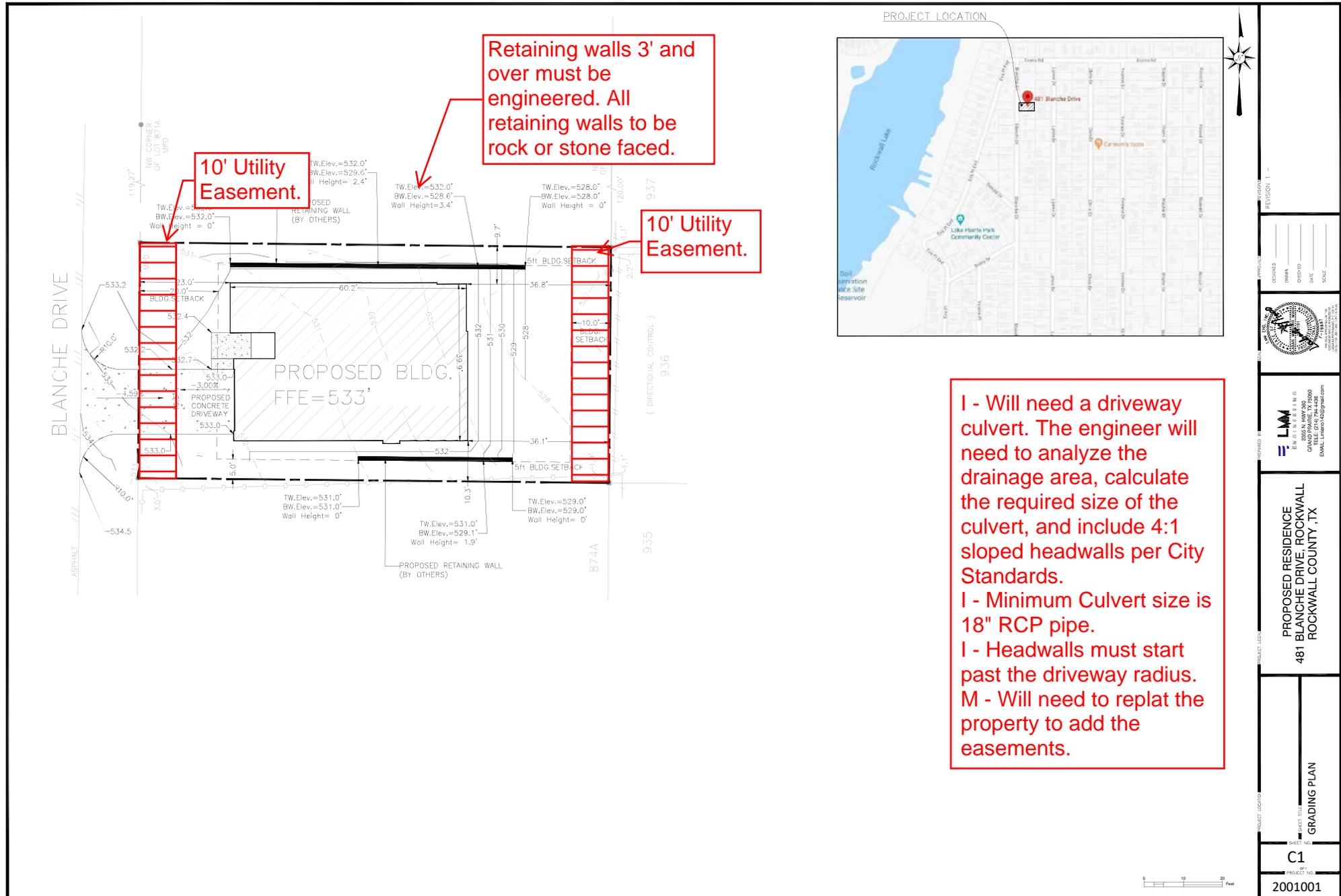
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	07/23/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/21/2020	Approved

07/21/2020: No comments

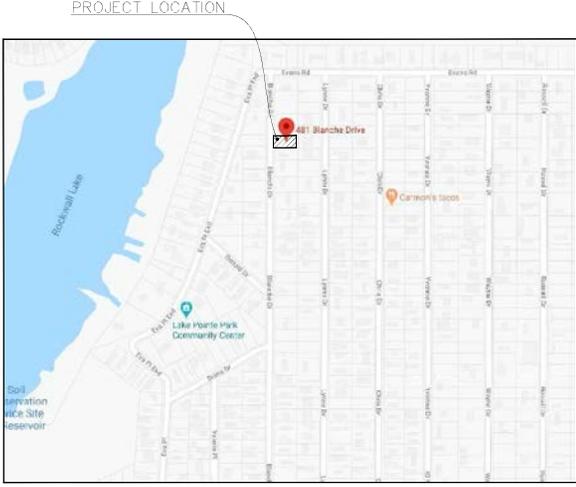


10' Utility Easement.

Retaining walls 3' and over must be engineered. All retaining walls to be rock or stone faced.

10' Utility Easement.

I - Will need a driveway culvert. The engineer will need to analyze the drainage area, calculate the required size of the culvert, and include 4:1 sloped headwalls per City Standards.
 I - Minimum Culvert size is 18" RCP pipe.
 I - Headwalls must start past the driveway radius.
 M - Will need to replat the property to add the easements.



PROPOSED RESIDENCE
 481 BLANCHE DRIVE, ROCKWALL
 ROCKWALL COUNTY, TX

GRADING PLAN

C1

2001001

PROPOSED BY: [blank]
 APPROVED BY: [blank]
 DECISION: [blank]
 DRAWN: [blank]
 CHECKED: [blank]
 DATE: [blank]
 SCALE: [blank]

REVISION 1 -

LW
 L. W. WILSON & ASSOCIATES, P.C.
 2055 N. HWY 980
 SUITE 100
 ROCKWALL, TX 75087
 EMAIL: Lwilson@lwfirm.com



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-032

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 481 Blanche Dr. Rockwall, TX 75032
 Subdivision Rockwall Lake Properties #2 Lot 873A Block
 General Location 481 Blanche Dr. Rockwall, TX 75032

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential Current Use NONE
 Proposed Zoning Residential Proposed Use Single Family
 Acreage 0.1150 Lots [Current] 1 Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>Erick Cruz Mendoza</u>	<input type="checkbox"/> Applicant <u>Erick Cruz Mendoza</u>
Contact Person <u>Erick Cruz Mendoza</u>	Contact Person <u>Erick Cruz Mendoza</u>
Address <u>4100 Andys Ln Trlr 1</u>	Address <u>4100 Andys Ln Trlr 1</u>
City, State & Zip <u>Parker TX 75002</u>	City, State & Zip <u>Parker, TX 75002</u>
Phone <u>469 781 6380</u>	Phone <u>469 781 6380</u>
E-Mail <u>cruzerickmendoza@upho.com</u>	E-Mail <u>cruzerickmendoza@upho.com</u>

NOTARY VERIFICATION [REQUIRED]

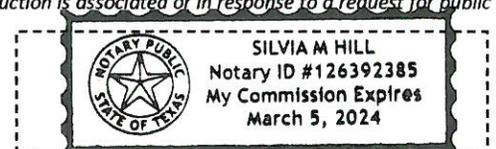
Before me, the undersigned authority, on this day personally appeared Erick Cruz [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$200.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 17 day of July, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of July, 2020.

Owner's Signature

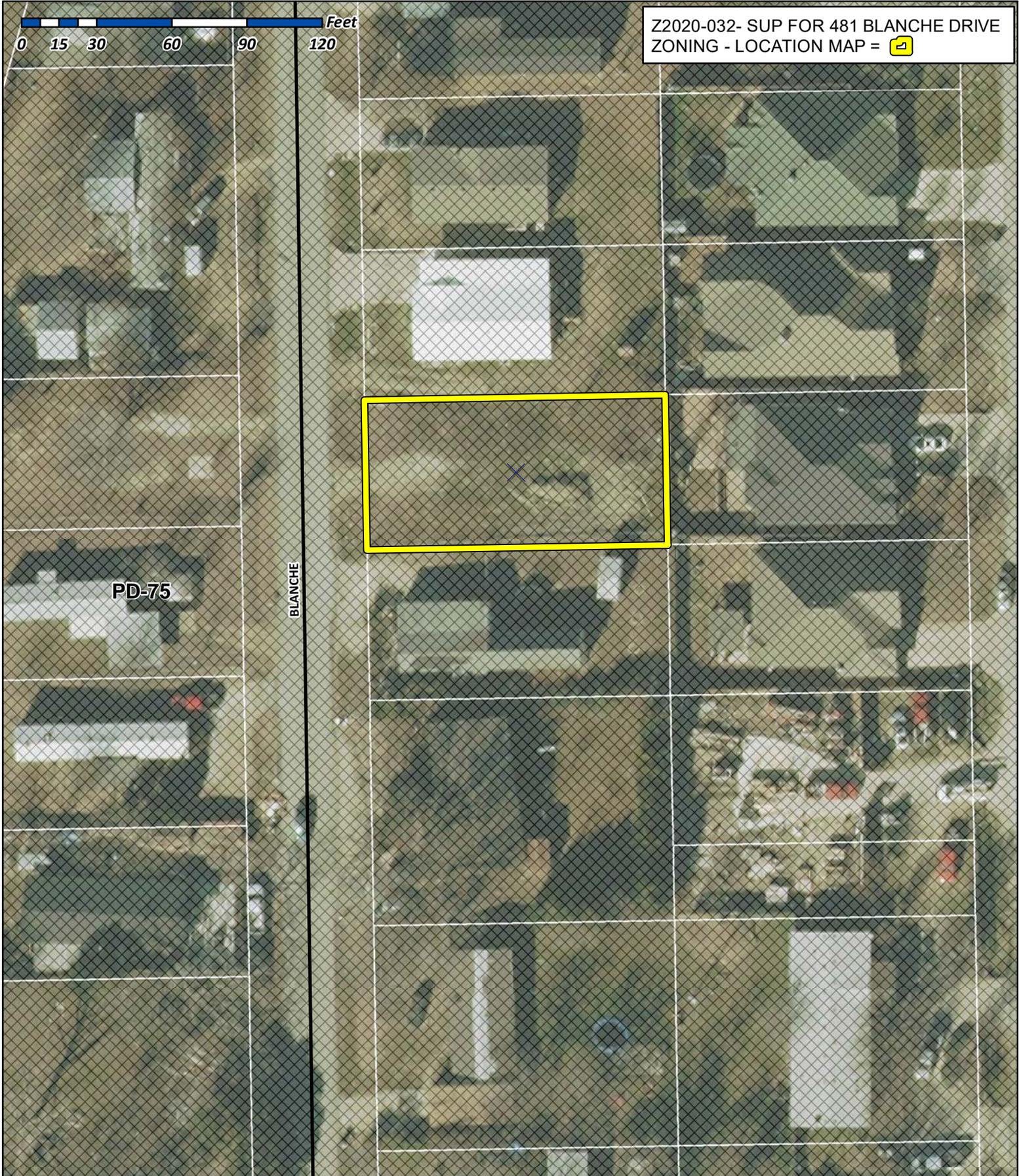
Notary Public in and for the State of Texas



My Commission Expires March 5, 2024

0 15 30 60 90 120 Feet

Z2020-032- SUP FOR 481 BLANCHE DRIVE
ZONING - LOCATION MAP = 



PD-75

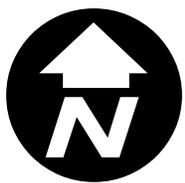
BLANCHE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

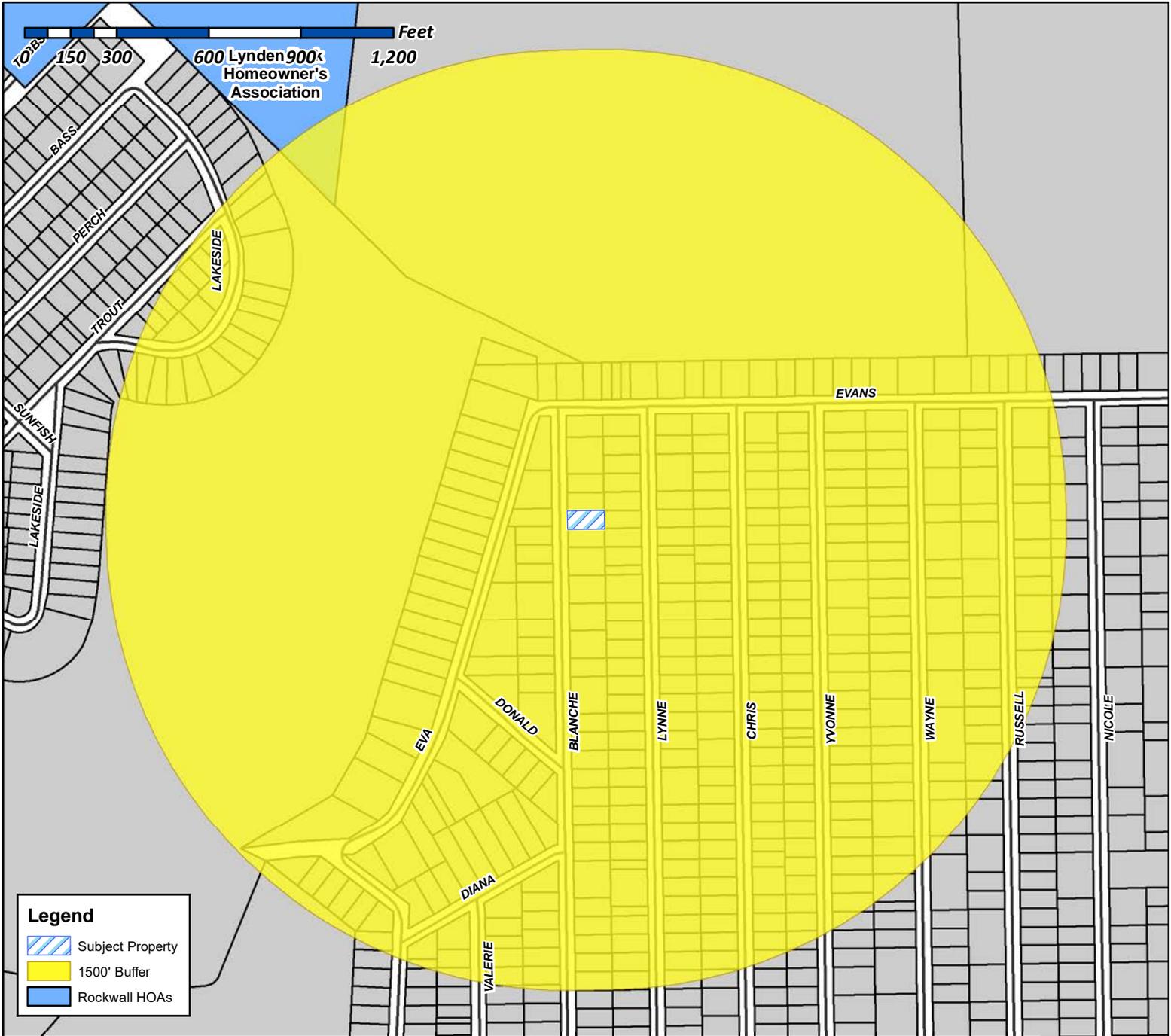
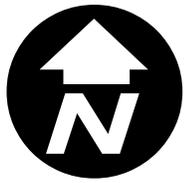




City of Rockwall

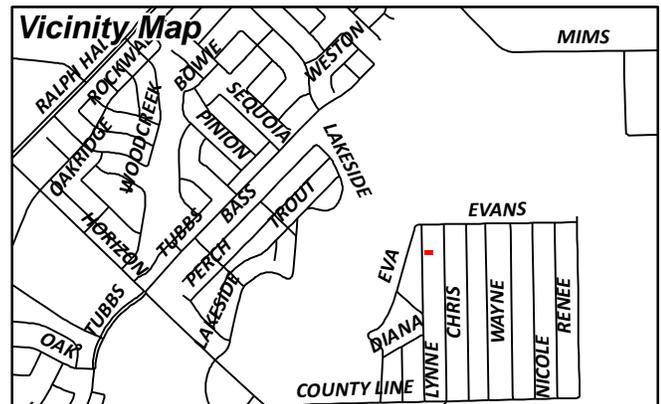
Planning & Zoning Department
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Case Number: Z2020-032
Case Name: SUP for 481 Blanche Drive
Case Type: Specific Use Permit
Zoning: Planned Development District 75 (PD-75)
Case Address: 481 Blanche Drive

Date Created: 7/22/2020
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Henry Lee](#)
Subject: Neighborhood Notification Program
Date: Tuesday, July 21, 2020 10:12:36 AM
Attachments: [Public Notice \(07.20.2020\).pdf](#)
[HOA Map \(07.20.2020\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, July 31, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, August 11, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, August 17, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-032: SUP for Residential Infill at 481 Blanche Drive

Hold a public hearing to discuss and consider a request by Erick Cruz Mendoza for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.165-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

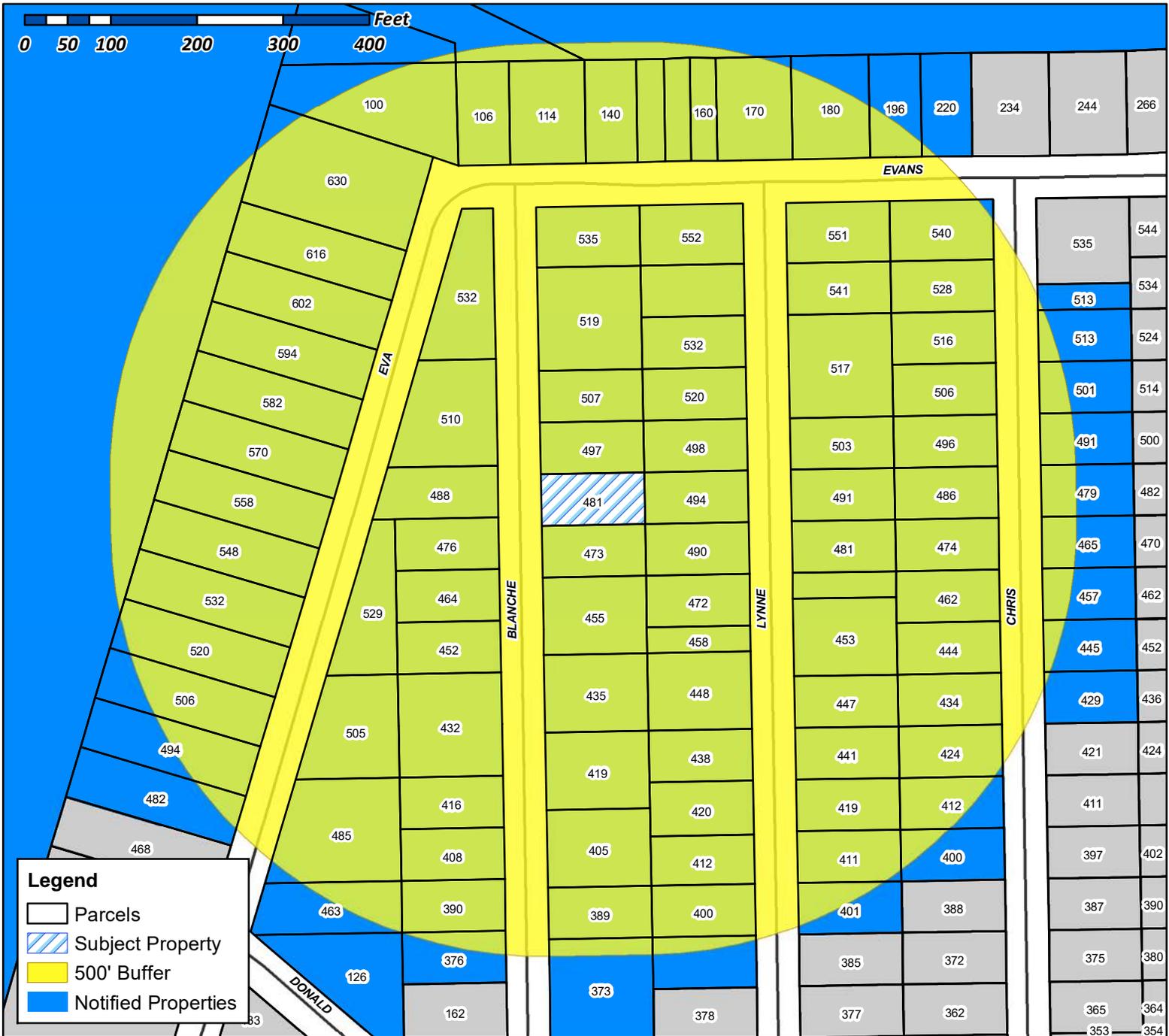
<http://www.rockwall.com/planning/>



City of Rockwall

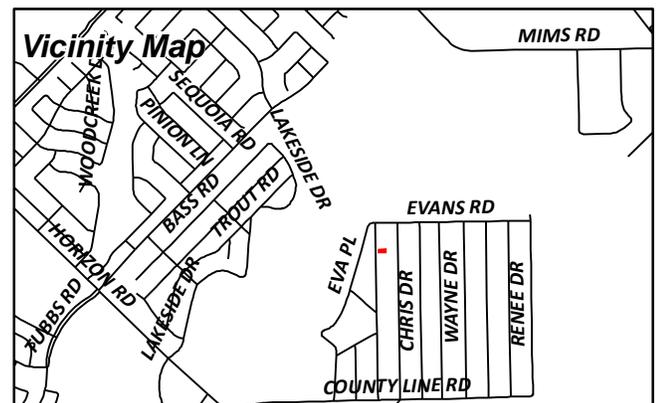
Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2020-032
Case Name: SUP for 481 Blanche Drive
Case Type: Specific Use Permit
Zoning: Planned Development District 75 (PD-75)
Case Address: 481 Blanche Drive

Date Created: 7/22/2020
For Questions on this Case Call (972) 771-7745



PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

THELWELL LINDA
1013 BLACKBERRY TRL
LANCASTER, TX 75134

SILVA BERTHA
1041 E FM 552
ROCKWALL, TX 75087

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
106 EVANS
ROCKWALL, TX 75032

YANEZ NANCY & JOSE ANTONIO
1091 SABINE CREEK RD
ROYSE CITY, TX 75189

CURRENT RESIDENT
114 EVANS
ROCKWALL, TX 75032

OLIVARES JAMES B & MARTINA
1209 QUAIL DR
GARLAND, TX 75040

FERNANDEZ URBANO ALVARADOO &
SON ARMADO FERNANDEZ
1235 VZ COUNTY ROAD 3425
WILLS POINT, TX 75169

CURRENT RESIDENT
126 DONALD
ROCKWALL, TX 75032

CURRENT RESIDENT
140 EVANS
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
140 OVERBROOK DR
ROCKWALL, TX 75032

CASTILLO ARTURO & VICTORIA
151 PERCH RD
ROCKWALL, TX 75032

AYALA MA DEJESUS CONTRERAS
154 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
160 EVANS
ROCKWALL, TX 75032

CURRENT RESIDENT
170 EVANS
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD
ROCKWALL, TX 75032

GONZALEZ JOSE CRESCENCIO
185 BLANCHE DR
ROCKWALL, TX 75032

HERREROS BERTOLDO
196 EVANS RD
ROCKWALL, TX 75032

ADAMS JAMES & DEBBIE
208 SUMMIT RIDGE DR
ROCKWALL, TX 75087

ORELLANA JUAN C & MARICELA
220 CRAWFORD LN
ROYSE CITY, TX 75189

RODRIGUEZ ROMAN
220 EVANS RD
ROCKWALL, TX 75032

YANES MARIA TERESA
230 CHRIS DR
ROCKWALL, TX 75032

CHAVEZ LAWRENCE A
2309 1/2 CHURCH ST
LAS VEGAS, NM 87701

ROJAS MARCOS
234 EVANS RD
ROCKWALL, TX 75032

MORENO RICARDO
275 CHRIS DR
ROCKWALL, TX 75032

NAVA LUZ A
2994 S FM 551
ROYSE CITY, TX 75189

POWELL CONNIE S
304 CARISSA COURT
MESQUITE, TX 75150

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

QUEVEDO LUIS & FELIZA
3326 BURNING TREE LN
GARLAND, TX 75042

RODRIGUEZ HERMAN & APRIL
373 BLANCHE DR
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
376 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
389 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
390 BLANCHE
ROCKWALL, TX 75032

SANCHEZ JULIO & MARIA
400 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS-AYALA JORGE
400 LYNNE
ROCKWALL, TX 75032

VARGAS FRANCISCO
401 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
405 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
408 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
411 LYNNE
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
412 LYNNE
ROCKWALL, TX 75032

CARRILLO OMAR
ROSALES MARIA M
416 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
419 BLANCHE
ROCKWALL, TX 75032

CARRILLO DIEGO
419 LYNNE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
420 LYNNE DRIVE
ROCKWALL, TX 75032

CARDENAS RODOLFO
424 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
429 CHRIS
ROCKWALL, TX 75032

AVALOS EDUARDO & CARMEN
432 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ GREGORIA HERNANDEZ
434 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
435 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
438 LYNNE
ROCKWALL, TX 75032

ANAYA JUAN C & RAUL
439 PERCH RD
ROCKWALL, TX 75032

TORRES ALONSO
441 LYNNE DR
ROCKWALL, TX 75032

GOMEZ MIGUEL URBINA AND LILIA GARCIA
RANGEL
444 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
445 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
447 LYNNE
ROCKWALL, TX 75032

LICEA JOSE & LYTA
448 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ JUAN & MARIA BARBARA MURILLO
452 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
453 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
455 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
457 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
458 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
462 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
463 EVA
ROCKWALL, TX 75032

CURRENT RESIDENT
464 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
465 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
472 LYNNE
ROCKWALL, TX 75032

JARAMILLO GABRIELA
473 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
474 CHRIS
ROCKWALL, TX 75032

BENTLEY FRED W
476 BLANCHE DR
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
481 BLANCHE
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR
ROCKWALL, TX 75032

GARZA ISAI
482 EVA PL
ROCKWALL, TX 75032

CURRENT RESIDENT
485 EVA
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
488 BLANCHE
ROCKWALL, TX 75032

ZAYAS GABRIEL & JESSICA JO
490 LYNNE DR
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
491 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
494 EVA
ROCKWALL, TX 75032

DIAZ JOSE LUIS & MARICELA
494 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
496 CHRIS
ROCKWALL, TX 75032

SUAREZ ERIKA & ALFREDO ESTRADA
497 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
498 LYNNE
ROCKWALL, TX 75032

VELASQUEZ LORENA
501 CHRIS DRIVE
ROCKWALL, TX 75033

DIAZ MARIA L FLORES
503 LYNNE DR
ROCKWALL, TX 75032

MEDRANO JOSE & JUANA
505 EVA PL
ROCKWALL, TX 75032

CURRENT RESIDENT
506 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
506 EVA
ROCKWALL, TX 75032

AGUILAR ROSALINA
507 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
510 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
513 CHRIS
ROCKWALL, TX 75032

TONG HALEY AND HANH BUU TONG
513 FALLEN LEAF LN
TEMPLE, TX 76502

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR
ROCKWALL, TX 75032

BARR CHRISTOPHER H JR
517 LYNNE DR
ROCKWALL, TX 75032

GARCIA JUAN
519 BLANCHE
ROCKWALL, TX 75087

OKC HOLDINGS LLC
519 E 1-30 #602
ROCKWALL, TX 75087

CURRENT RESIDENT
520 EVA
ROCKWALL, TX 75032

FLORES JAIME W &
MARLENE CASTRO
520 LYNNE DR
ROCKWALL, TX 75032

GONZALEZ JOSE & LAUREN
5245 COUNTY ROAD 2515
ROYSE CITY, TX 75189

CURRENT RESIDENT
528 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
529 EVA
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS FRANCISCO
532 BLANCHE DRIVE
ROCKWALL, TX 75032

CURRENT RESIDENT
532 EVA
ROCKWALL, TX 75032

CURRENT RESIDENT
532 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
535 BLANCHE
ROCKWALL, TX 75032

RODRIGUEZ ROMAN
540 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
541 LYNNE
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
544 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
548 EVA
ROCKWALL, TX 75032

CURRENT RESIDENT
551 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
552 LYNNE
ROCKWALL, TX 75032

RANGEL JUAN
554 WILLOW RIDGE CIR
ROCKWALL, TX 75032

CURRENT RESIDENT
558 EVA
ROCKWALL, TX 75032

MEDINA CESAR
570 EVA PL
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

GARCIA HUGO IVAN DEL AND
JUANA GUZMAN
582 EVA PLACE
ROCKWALL, TX 75032

ALVARES FLORINA GUTIERREZ &
ENRIQUE RENE ORTIZ GARCIA
594 EVA PL
ROCKWALL, TX 75032

CURRENT RESIDENT
602 EVA
ROCKWALL, TX 75032

LAY JAMES CURTIS
6048 W INTERSTATE 30
ROYSE CITY, TX 75189

DEJESUS SANTOS
616 EVA PL
ROCKWALL, TX 75032

RODRIGUEZ FLORENCIO GOMEZ
630 EVA
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
703 T L TOWNSEND DR
ROCKWALL, TX 75087

ROBLES DONERY ALEXANDER & MAGDENLENA
AVARADO
8306 AMERICAS CUP
ROWLETT, TX 75089

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
907 WILLOW RIDGE
ROCKWALL, TX 75032

DELGADO JUAN AND
ADELAIDA REYES REYES AND PABLE E STRADA
REYES AND
JUAN J ESTRADA REYES 558 EVA
ROCKWALL, TX 75087

RAOFPUR DAVID & SAADAT
CHILDREN'S EDUCATION TRUST
PO BOX 2051
DEL MAR, CA 92014

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-032: SUP for Residential Infill at 481 Blanche Drive

Hold a public hearing to discuss and consider a request by Erick Cruz Mendoza for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.165-acre parcel of land identified as Lot 873-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 11, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 17, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 17, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-032: SUP for Residential Infill at 481 Blanche Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Know what's below.
Call before you dig.

TOPO SURVEY



WWW.RHODESSURVEYING.COM

BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940

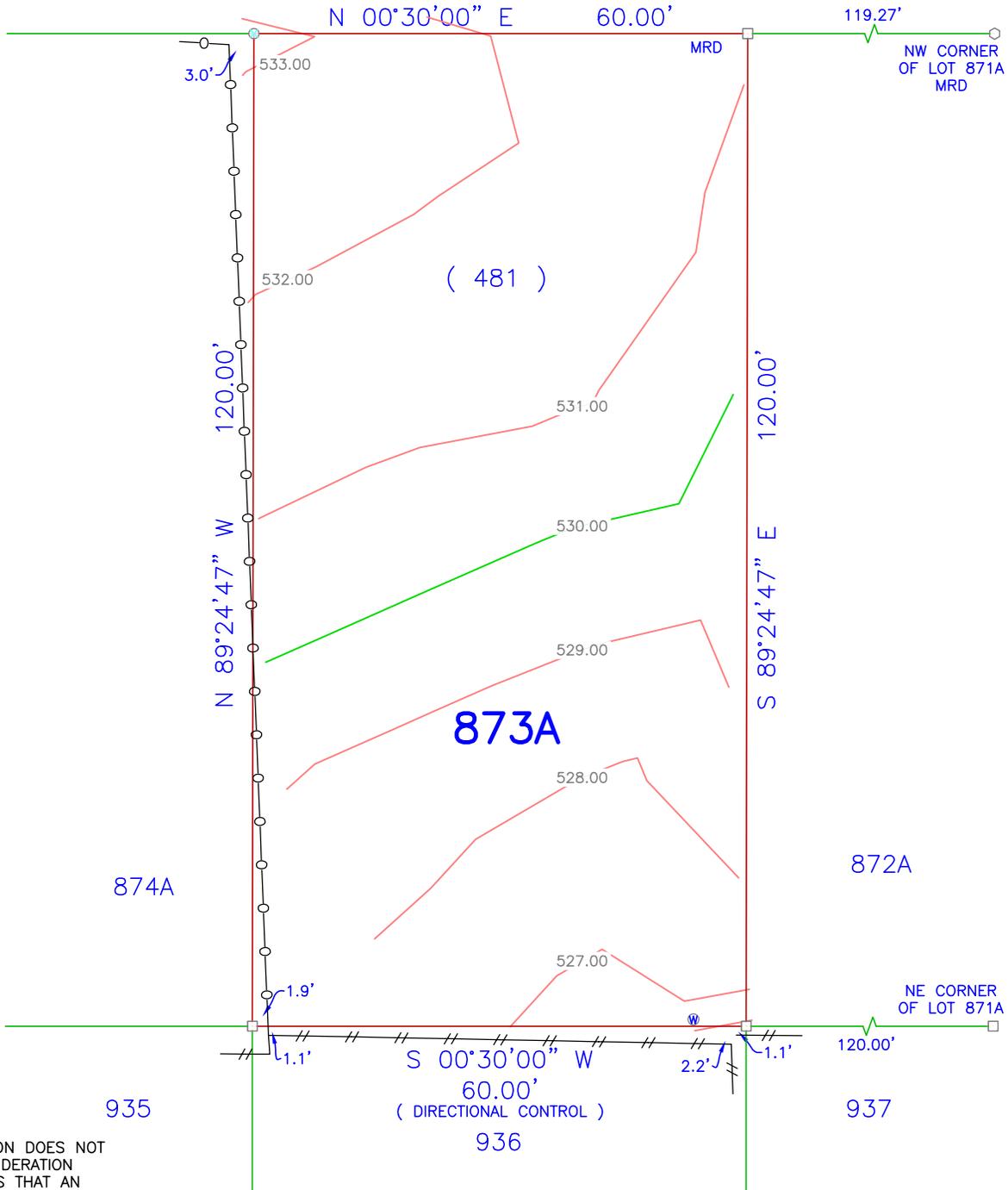
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 481 BLANCHE DRIVE, in the city of ROCKWALL Texas.

Lot No. 873-A, Block No. -
of ROCKWALL LAKE ESTATES, an addition in the city of ROCKWALL, ROCKWALL COUNTY Texas according to the PLAT THEREOF RECORDED in VOLUME A at PAGE 79 of the MAP records of ROCKWALL COUNTY, TEXAS.



BLANCHE DRIVE

ASPHALT



THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE.

1529 E. I-30, STE. 106 - GARLAND, TX 75043 - FIRM REGISTRATION NO. 10194052
The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements.

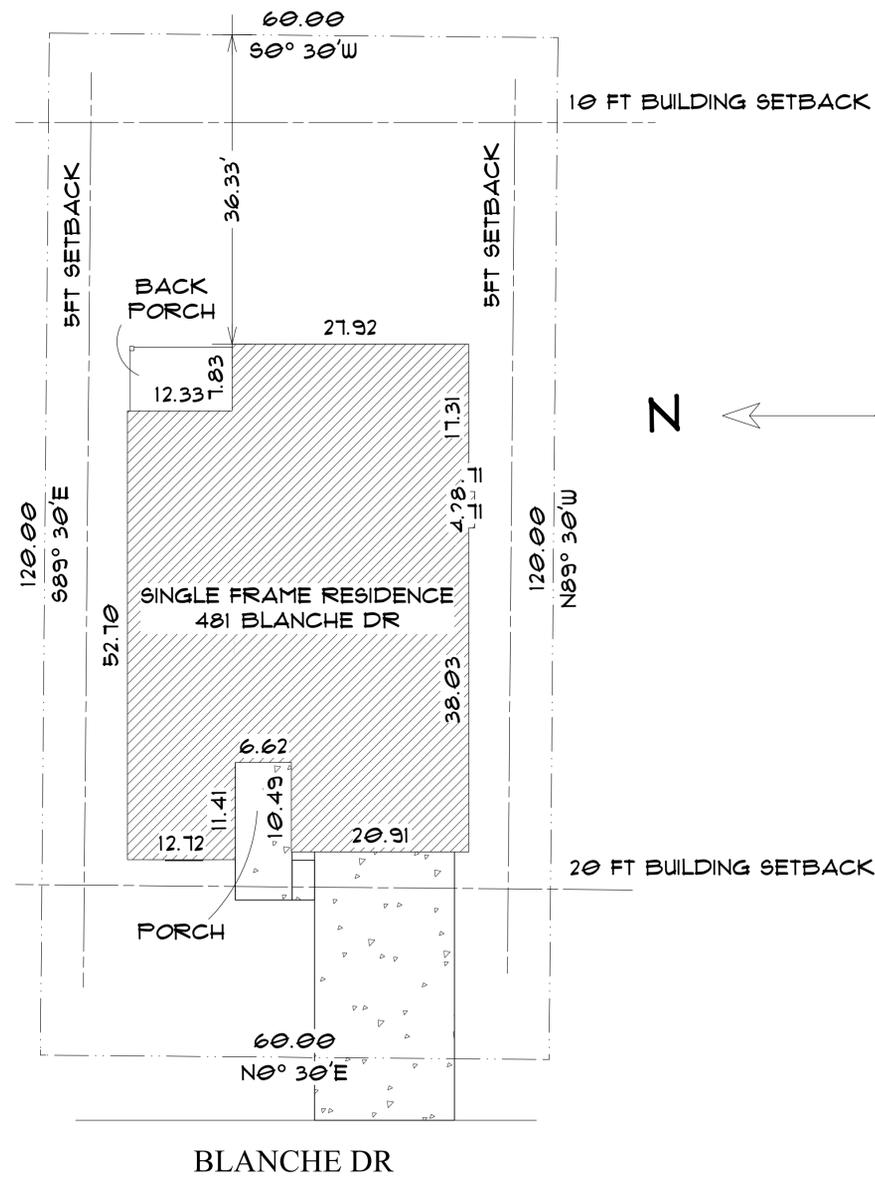
TITLE AND ABSTRACTING WORK FURNISHED BY TDG Services LLC
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 20'
Date: 01/14/2020
G. F. No.: -
Job no.: 106077
Drawn by: EK

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR TDG Services LLC

LEGEND	
WOOD FENCE	TEXT
CHAIN LINK	IMPROVEMENTS
IRON FENCE	BOUNDARY LINE
WIRE FENCE	EASEMENT SETBACK
	RESIDENCE/BUILDING
MRD	MONUMENTS OF RECORD DIGNITY
○	1/2" IRON ROD FOUND
○	1/2" YELLOW-CAPPED IRON ROD SET
○	1/2" RED-CAPPED IRON ROD FOUND
○	1/2" YELLOW-CAPPED IRON ROD FOUND
○	PK NAIL FOUND
○	CABLE
○	CLEAN OUT
○	GAS METER
○	FIRE HYDRANT
○	LIGHT POLE
○	MANHOLE
○	GUY-WIRE
○	ELECTRIC
○	POWER POLE
○	TELEPHONE
○	WATER METER
○	WATER VALVE
(UNLESS OTHERWISE NOTED)	





1 SITE PLAN
SCALE: 1"=20'

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPERTY SETBACK

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

TDG THE DRAFTER GUY
DRAFTING & DESIGN
8000 US 380, CROSSROADS, TX, ST#100
469-579-6130

Project:
**Proposed Single Story Residence at
481 Blanche st, Rockwall, Tx**

Client:
**Erick
Mendoza**

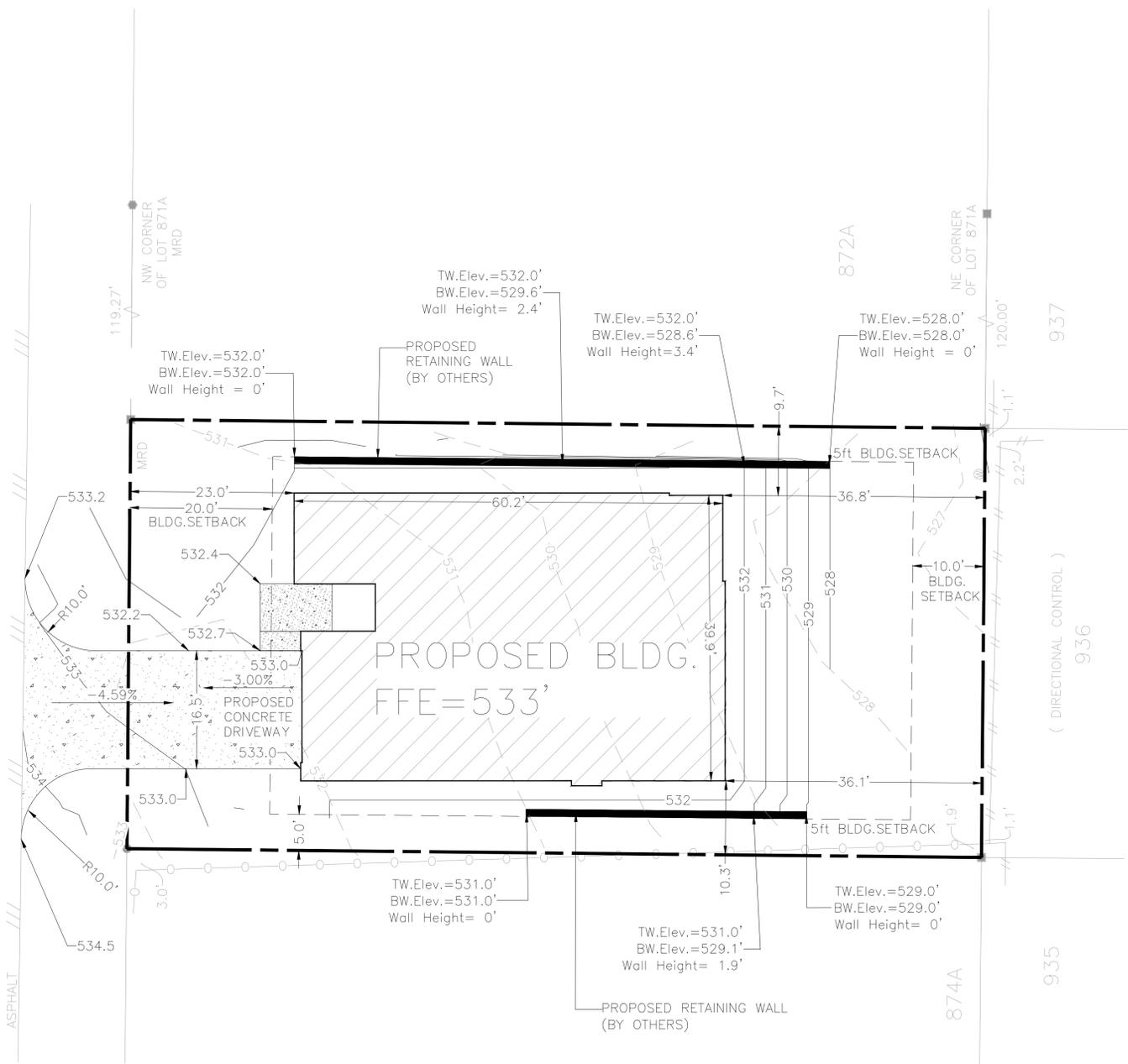
Description:
**Site Plan &
Erosion
Control Plan**

Date:
3/23/2020

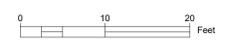
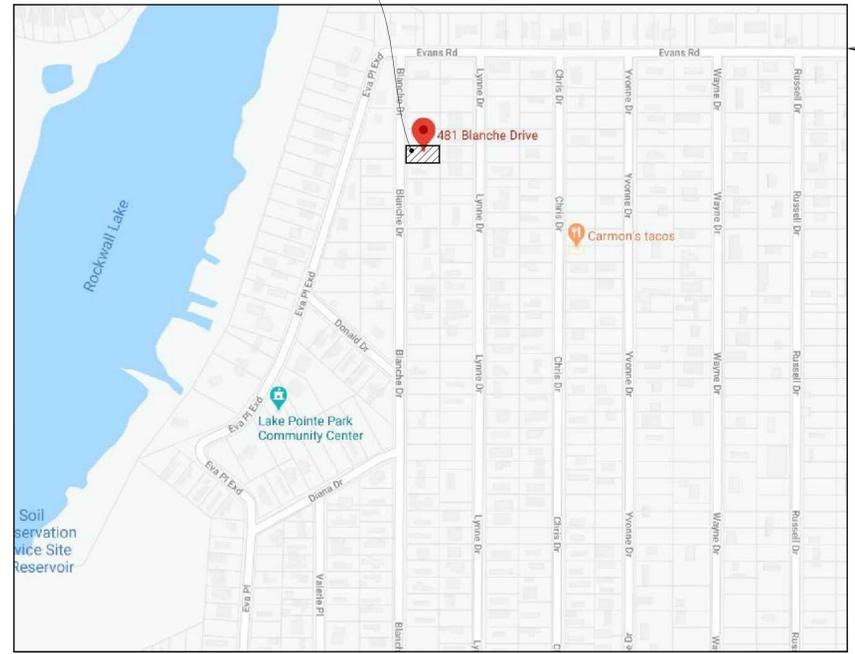
Scale:
1/4"=1'

Sheet:
A2.1

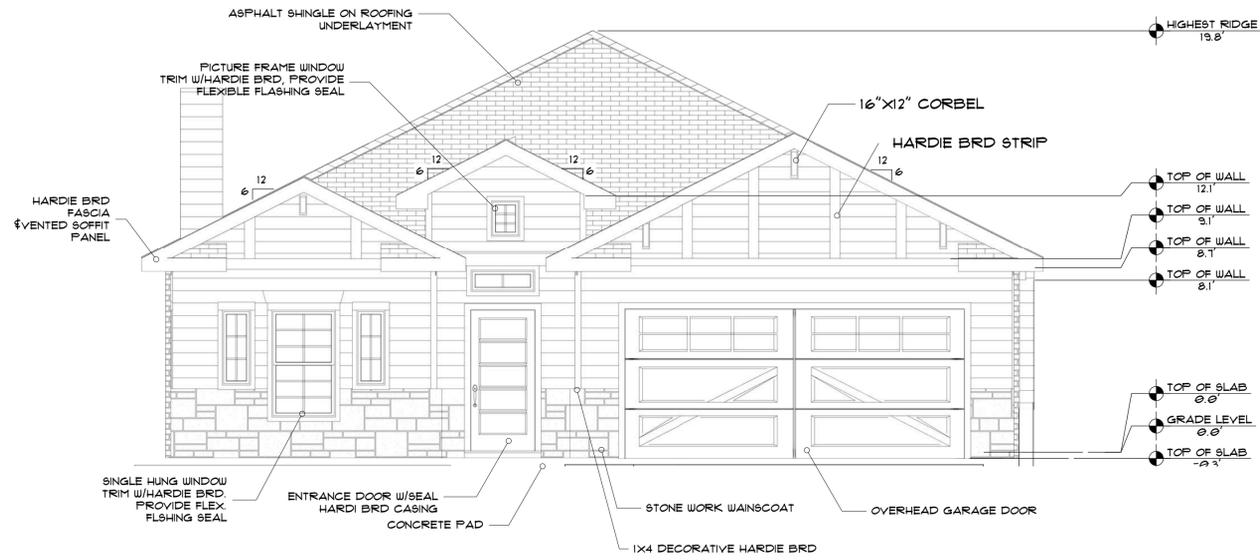
BLANCHE DRIVE



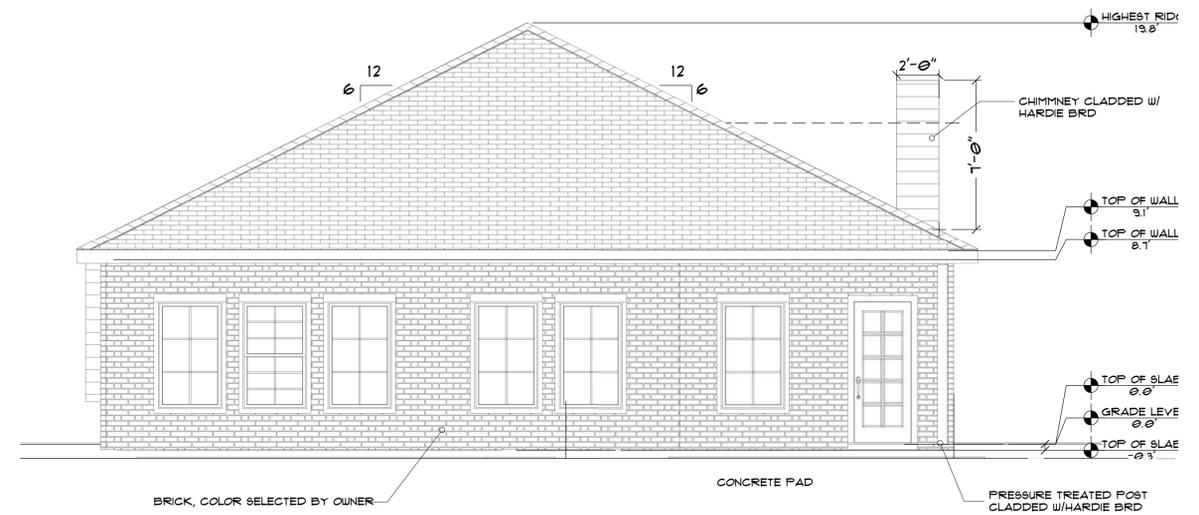
PROJECT LOCATION



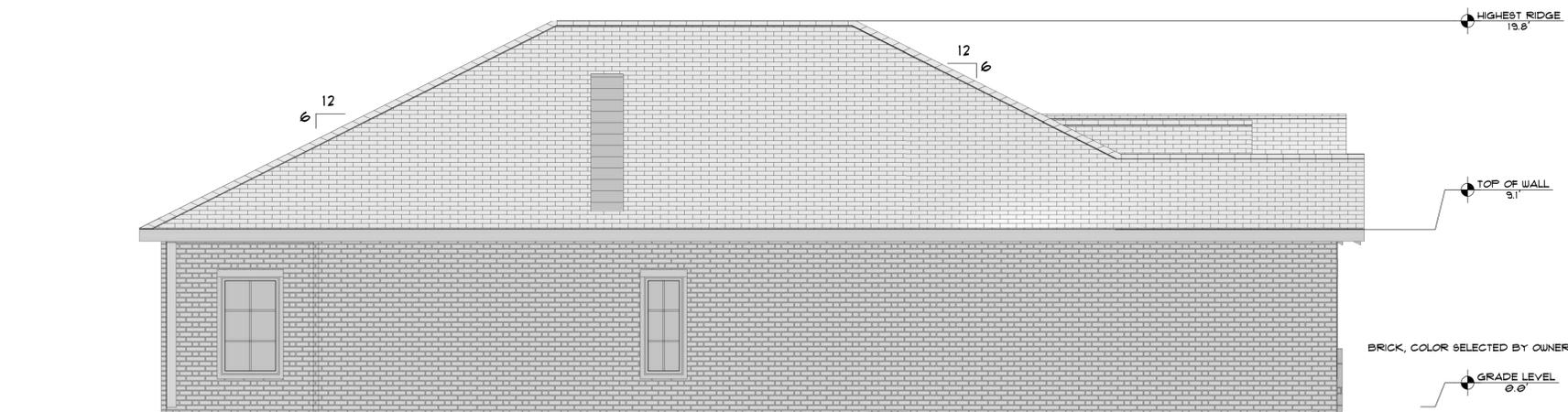
DESIGNED	APPROVALS
DRAWN	REVISIONS
CHECKED	REVISION 1
DATE	
SCALE	
LMM ENGINEERING 2355 N HWY 360 GARLAND, TX 75042-4438 EMAIL: Lmlmno142@gmail.com	
PROPOSED RESIDENCE 481 BLANCHE DRIVE, ROCKWALL ROCKWALL COUNTY, TX	
PROJECT LEGAL PROJECT LOCATION SHEET TITLE GRADING PLAN SHEET NO. C1 OF 1 PROJECT NO. 2001001	



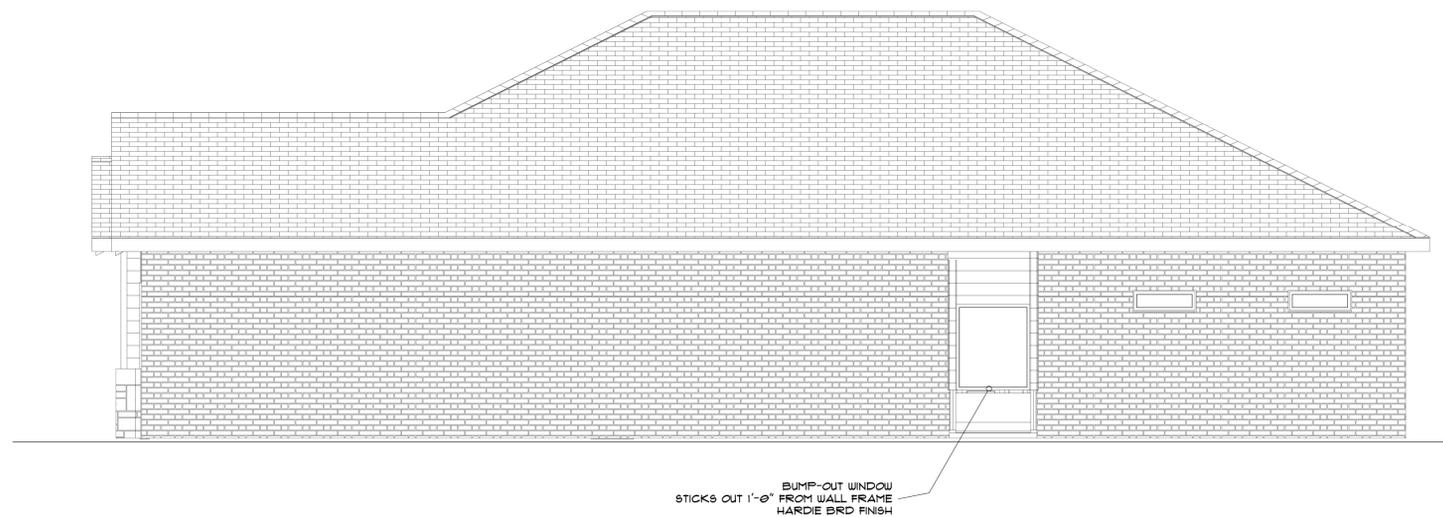
1 ELEVATION- FRONT VIEW
SCALE: 1/4"=1'



2 ELEVATION- REAR VIEW
SCALE: 1/4"=1'



3 ELEVATION- LEFT VIEW
SCALE: 1/4"=1'



4 ELEVATION- RIGHT VIEW
SCALE: 1/4"=1'

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

TDG THE DRAFTER GUY
DRAFTING & DESIGN
8000 US 380, CROSSROADS, TX, ST#100
469-879-6130

Project:
**Proposed Single Story Residence at
481 Blanche st, Rockwall, Tx**

Client:
**Erick
Mendoza**

Description:
Elevations

Date:
3/23/2020

Scale:
1/4"=1'

Sheet:
A3.2

DOOR AND WINDOW NOTES:

-EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT.

-EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

-ALL WALK-THRU DOORS SHALL BE SOLID CORE INTERIOR DOORS SHALL BE PAINTED. -ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING DOORS.

BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES.

DOOR SHALL BE SELF CLOSING EXTERIOR EXIT DOORS WILL BE 36" MIN.

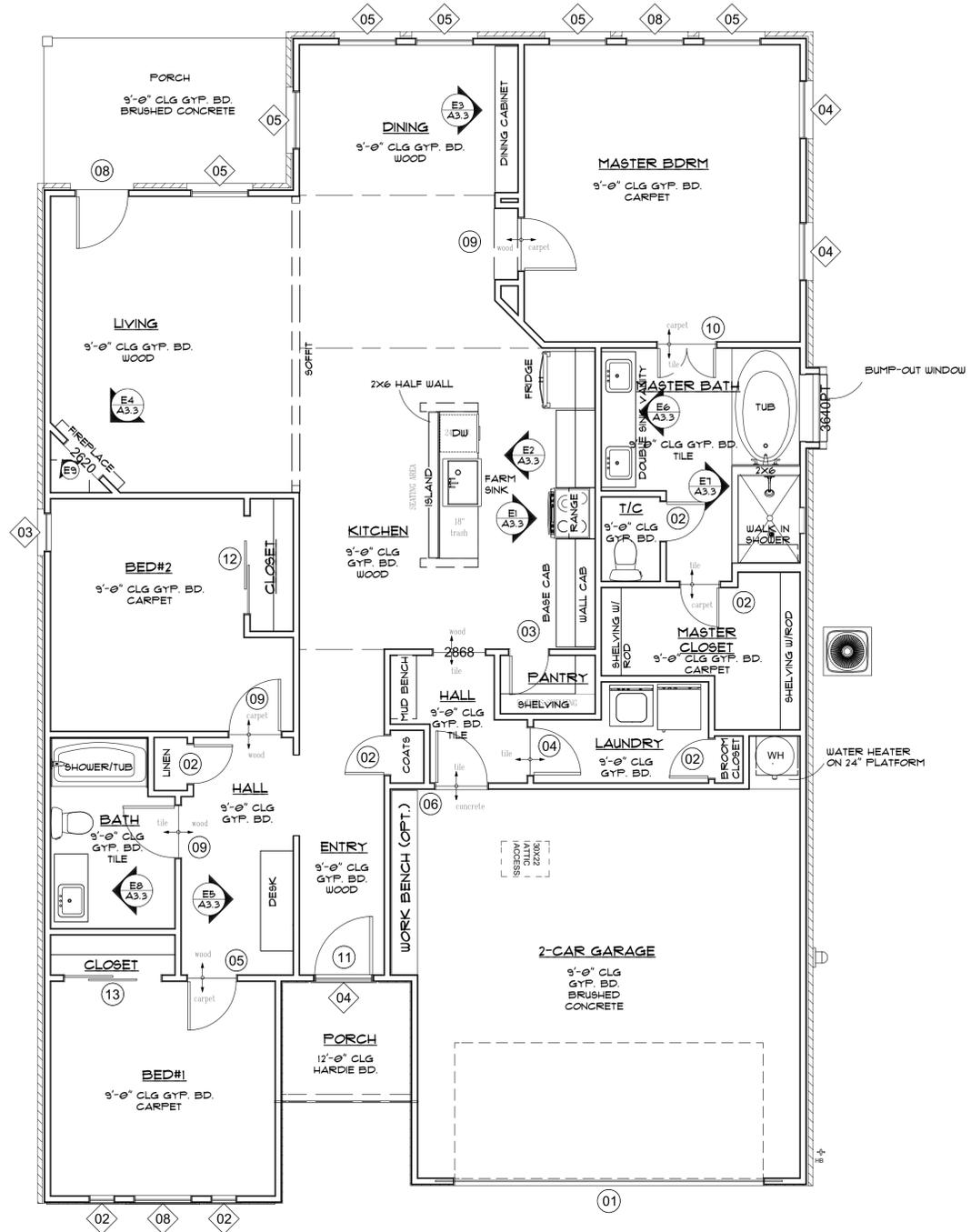
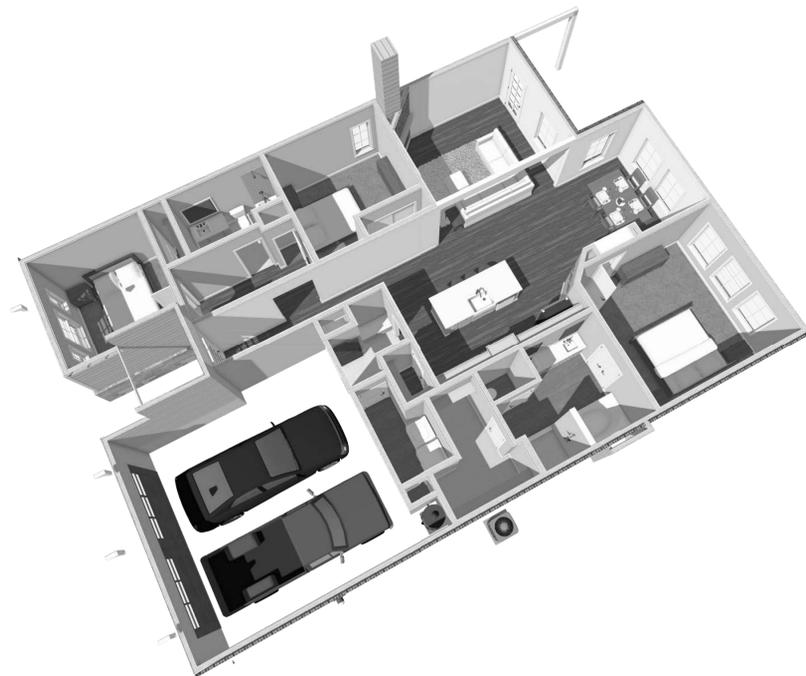
NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

WINDOW SCHEDULE											
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	COMMENTS
01	1418FX	1	2	1418FX	16"	20"	11"x21"		FIXED GLASS	2X6X20" (2)	
02	1436FX	2	1	1436FX	16"	42"	11"x43"		FIXED GLASS	2X6X20" (2)	
03	2050FX	1	1	2050FX	24"	60"	25"x61"	YES	FIXED GLASS	2X6X28" (2)	
04	3010FX	3	1	3010FX	36"	12"	31"x13"		FIXED GLASS	2X6X40" (2)	
05	3050FX	6	1	3050FX	36"	60"	31"x61"		FIXED GLASS	2X6X40" (2)	
06	3050SH	2	1	3050SH	36"	60"	31"x61"	YES	SINGLE HUNG	2X6X40" (2)	
09	3640FX	1	1	3640FX	41 1/2"	48"	42 1/2"x49"		FIXED GLASS	2X6X45 1/2" (2)	

DOOR SCHEDULE										
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	COMMENTS
01	16070	1	16070	192"	84"		GARAGE-GARAGE DOOR CHD11	2X12X200" (2)	1 3/4"	
02	2068	5	2068 L IN	24"	80"		HINGED-DOOR P03	2X6X29" (2)	1 3/8"	
03	2068	1	2068 R IN	24"	80"		HINGED-DOOR P03	2X6X29" (2)	1 3/8"	
04	2568	1	2568 R IN	29"	80"		HINGED-DOOR P03	2X6X34" (2)	1 3/4"	
05	2668	1	2668 R IN	30"	80"		HINGED-DOOR P03	2X6X35" (2)	1 3/8"	
06	2868	1	2868 L EX	32"	80"		EXT. HINGED-DOOR P03	2X6X37" (2)	1 3/8"	
08	2868	1	2868 R EX	32"	80"		EXT. HINGED-DOOR F05	2X6X37" (2)	1 3/4"	
09	2868	3	2868 R IN	32"	80"		HINGED-DOOR P03	2X6X37" (2)	1 3/8"	
10	3068	1	3068 L/R IN	36"	80"		DOUBLE HINGED-DOOR P03	2X6X41" (2)	1 3/8"	
11	3068	1	3068 R EX	36"	80"		EXT. HINGED-DOOR F04	2X6X41" (2)	1 3/4"	
12	5068	1	5068 L IN	60"	80"		SLIDER-DOOR P03	2X8X65" (2)	1 3/8"	
13	5068	1	5068 R IN	60"	80"		SLIDER-DOOR P03	2X8X65" (2)	1 3/8"	

BRICK CALCULATIONS					
	FRONT	LEFT	RIGHT	REAR	TOTAL
TOTAL WALL (S.F.)	315.8	493.7	486.7	210.9	1,507.1 S.F.
TOTAL MASONRY	58.0	493.7	486.7	210.9	1,249.3 S.F.
TOTAL SIDING	257.8	0	0	0	257.8 S.F.
BRICK %	18.4%	100.00%	100.00%	100.00%	
TOTAL MASONRY (% HOUSE)	22.9%				



1 MASTER FLOOR PLAN - 1ST FLOOR
SCALE: 1/4"=1'

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

TDG THE DRAFTER GUY
DRAFTING & DESIGN
8000 US 380, CROSSROADS, TX, 75110
469-879-6190

Project:
**Proposed Single Story Residence at
481 Blanche st, Rockwall, Tx**

Client:
**Erick
Mendoza**

Description:
**Master
Floorplan**

Date:
3/23/2020

Scale:
1/4"=1'

Sheet:
A1.3

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
452 Blanche Drive	Single Family Home	1983	1,440	250	Wood Siding
455 Blanche Drive	Single Family Home	N/A	900	356	Wood Siding
464 Blanche Drive	Manufactured Home	1985	980	120	Composite Siding
473 Blanche Drive	Manufactured Home	1975	1,354	120	Composite Siding
476 Blanche Drive	Manufactured Home	1984	672	736	Composite Siding
481 Blanche Drive	<i>Vacant</i>		<i>Subject Property</i>		<i>N/A</i>
497 Blanche Drive	Manufactured Home	1975	1,344	168	Composite Siding
507 Blanche Drive	Manufactured Home	1985	1,456	120	Composite Siding
510 Blanche Drive	Manufactured Home	1980	1,352	592	Composite Siding
519 Blanche Drive	Manufactured Home	1983	1,064	612	Composite Siding
532 Blanche Drive	Manufactured Home	2007	1,808	140	Vinyl Siding
535 Blanche Drive	Manufactured Home	N/A	N/A	N/A	Composite Siding
Averages:		1984	1,237	321	



452 Blanche Drive



455 Blanche Drive



473 Blanche Drive



476 & 464 Blanche Drive



481 Blanche Drive



507 & 497 Blanche Drive



510 Blanche Drive



519 Blanche Drive



532 Blanche Drive



452 Blanche Drive

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.165-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 873-A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Erick Cruz Mendoza for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.165-acre parcel of land being described as Lot 873-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 8TH DAY OF SEPTEMBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 17, 2020

2nd Reading: September 8, 2020

Exhibit 'A'
Location Map and Survey

Address: 481 Blanche Drive

Legal Description: Lot 873-A, Rockwall Lake Estates #2 Addition



Exhibit 'A'
Location Map and Survey

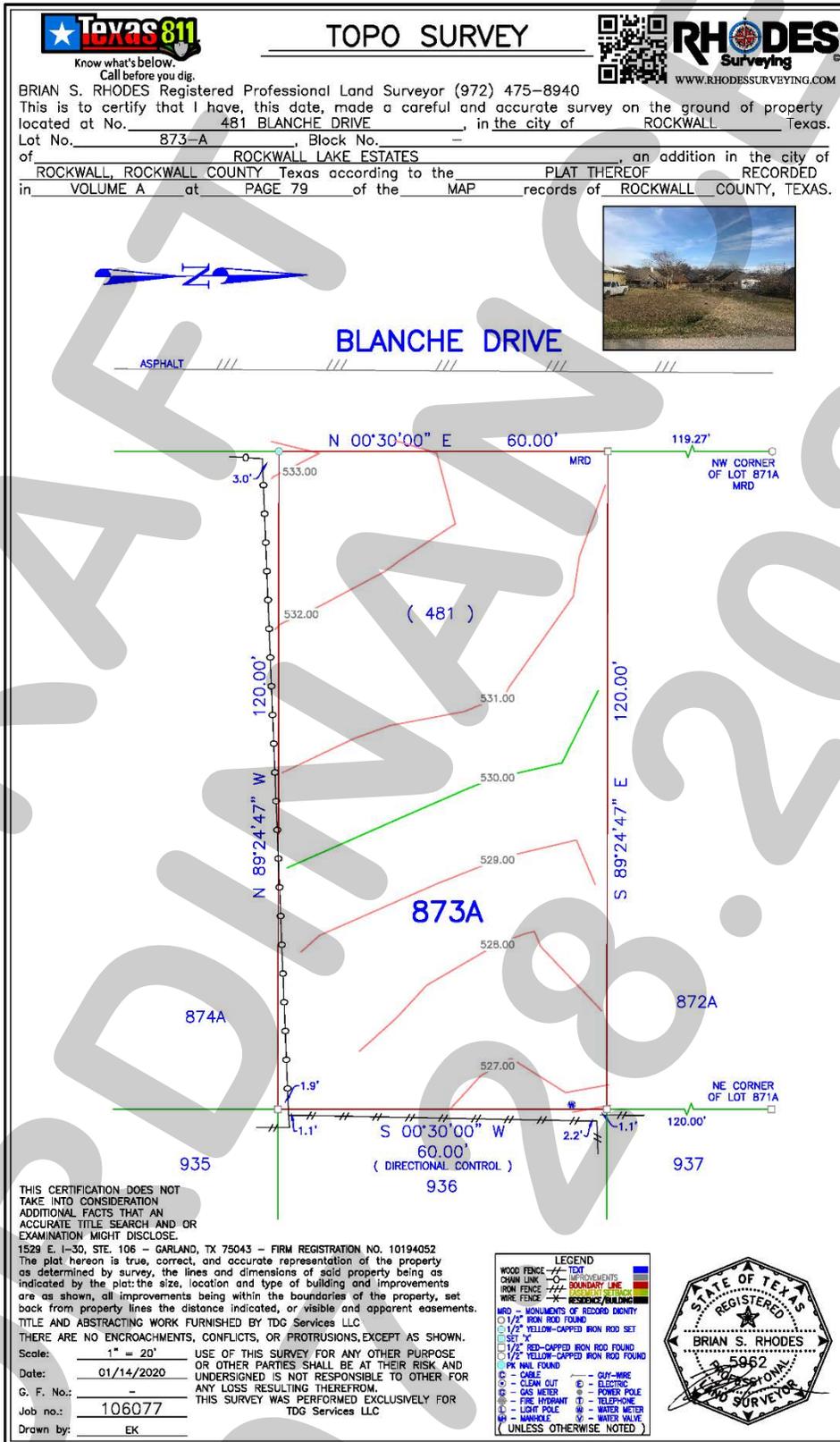
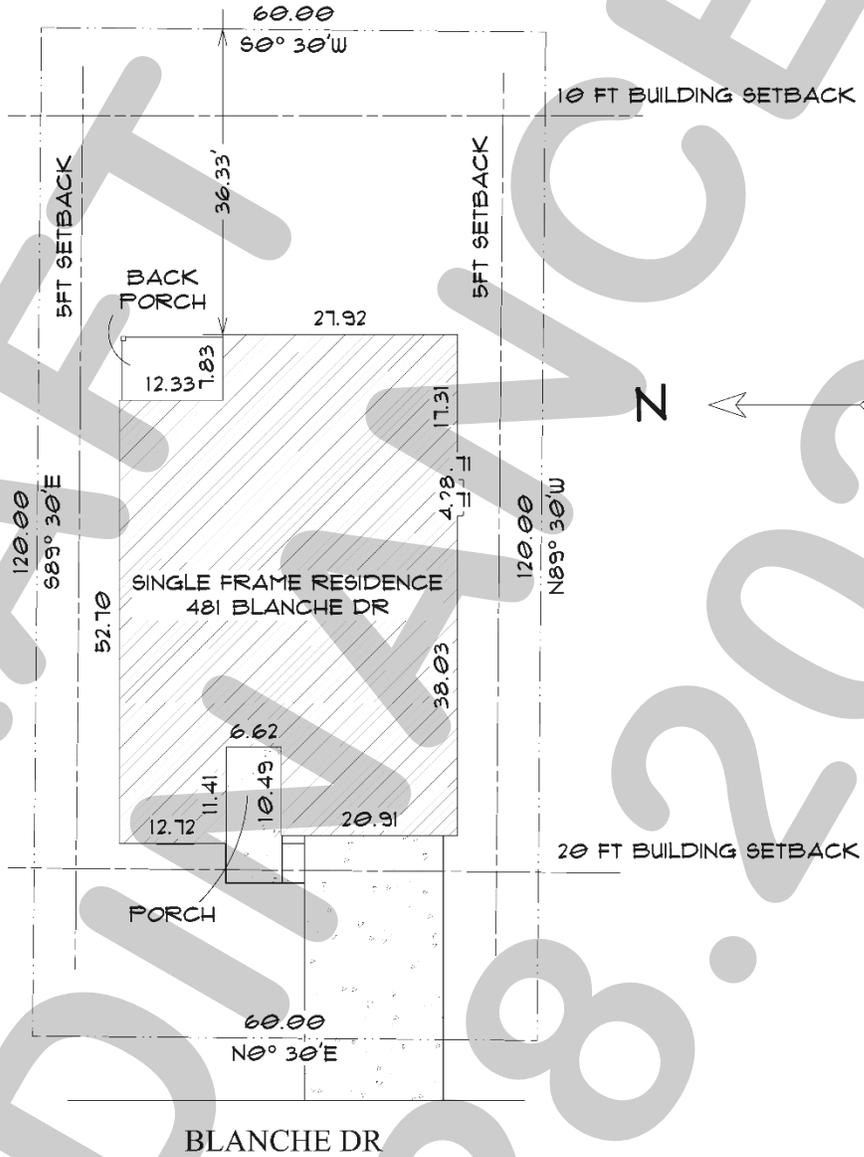


Exhibit 'B':
Residential Plot Plan



1 **SITE PLAN**
SCALE: 1"=20'

SITE PLAN LEGEND

- — — — — PROPERTY BOUNDARY
- - - - - PROPERTY SETBACK

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/24/2020

PROJECT NUMBER: P2020-029
PROJECT NAME: River Rock Trails, Phase 1A
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-771-7740
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	07/24/2020	Needs Review

07/24/2020: P2020-029; Preliminary Plat for RiverRock Trails, Phase 1A Addition - ETJ
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for River Rock Trails, Phase 1A Addition being a 35.28-acre portion of a larger 1,225.721-acre tract of land identified as Tract 11 of the F. Baugess Survey, Abstract No. 7, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally north of the intersection of FM-548 and High Plains Trail.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2020-029) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan). (§01.02(D), Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Chapter 38, Subdivisions of the Code of Ordinances of The City of Rockwall and the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall (ILA). (§01.02(D), Art. 11, UDC)

M.5 Submittal and approval of street names prior to the plat being filed. Contact Lance Singleton, GIS Supervisor – lsingleton@rockwall.com. (Section 38-8(b)(6)c, Plat Contents, Municipal Code of Ordinances)

M.6 Correct Title Block by removing "City of Rockwall" where indicated on last line that reads "located in City of Rockwall..." This should read "located in Rockwall County, Texas" (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)

M.7 Label all existing and proposed easements relative to the site and include the type, purpose and width on the preliminary plat. Are all easements indicated? (Section 38-8(b) (5), Location and Width of the Proposed Streets and Other Features, Municipal Code of Ordinances)

M.8 Indicate the locations of all existing and proposed utilities on the preliminary plat. Include the size and type of each. Are all utilities indicated? (Section 38-8(b)(4), Boundary Lines, etc., Municipal Code of Ordinances)

M.9 Indicate the location and dimensions of any proposed right-of-way dedication. Is there right-of-way dedication adjacent to FM-548? There is a portion of property adjacent to FM-548 and the southeastern portion of the plat labeled as 'RiverRock Trail' that is not identified as a lot or right-of-way. Does this portion belong to Lot 2X, Block B? Make necessary corrections to identify. (i.e. (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)

M.10 Indicate all existing and proposed corner clips (i.e. visibility triangles) and any subsequent dedication. Delineate and label on plat. (§01.08(B), Art. 05, UDC)

M.11 Locate and identify existing and/or proposed median openings and left turn channelization. Will there be any median openings associated with this site? (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)

M.12 Identify the dimensions, names and description of all open spaces, both existing and proposed. Provide labels for the three (3) common areas to indicate "Open Space." (Section 38-8(b)(6)e, Plat Contents, Municipal Code of Ordinances)

M.13 Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page. (Section 38-8(b)(3), Identification, Municipal Code of Ordinances)

M.14 Indicate the boundary lines, dimensions and descriptions, of spaces to be dedicated for public use of the inhabitants of the development. Provide labels for areas where applicable. (Section 38-8(b)(6)e, Plat Contents, Municipal Code of Ordinances)

M. 15 Please refer to the Checklist for Plat Submittals as found in the Interim Interlocal Cooperative Agreement for Subdivision Regulation (ILA) document and make the following corrections and/or provide a statement for each of the following items: (Exhibit 'A', ILA)

a) Indicate water sources inside the city limits or in the extraterritorial jurisdiction (ETJ). Provide a Will Serve Letter from Blackland Water Supply Company. (Section (4)(a)(1), Adequate Public Utilities (Water), Exhibit 'A', ILA)

b) Indicate sewage disposal method inside the city limits or in the extraterritorial jurisdiction (ETJ). Rockwall County to review and approve the sewage disposal method. (Section (4)(a)(2), Adequate Public Utilities (Wastewater), Exhibit 'A', ILA)

c) Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development. (Exhibit 'C', ILA)

d) Provide the appropriate plat wording provided in the application packet that details the designation of the entity responsible for the operation and maintenance of any commonly held property and a waiver releasing the city of such responsibility, a waiver releasing the City for damages in establishment or alteration of grade. (Section (5)(a)(b), Certification and Dedication Language, Exhibit 'A', ILA)

e) Provide the instrument of dedication or adoption signed by the owners, which is provided in the agreement. (Section (5)(a)(b), Certification and Dedication Language, Exhibit 'A', ILA)

f) Required to have the seal and signature of surveyor responsible for the surveying the development and/or the preparation of the plat. (Section (5)(c), Surveyors Certification, Exhibit 'A', ILA)

g) Provide a space for signatures attesting approval of the plat. (Section (5)(d), Signature Block, Exhibit 'A', ILA)

M.16 Adequate public facilities policy. "Adequate service for areas proposed for development. Land proposed for development in the city and in the city's extraterritorial jurisdiction must be served adequately by essential public facilities and services, including water facilities, wastewater facilities, roadway and pedestrian facilities, drainage facilities and park facilities. Land shall not be approved for platting or development unless and until adequate public facilities necessary to serve the development exist or provision has been made for the facilities, whether the facilities are to be located within the property being developed or offsite." (Section 38-5(d)(1), Policy, Municipal Code of Ordinances)

** Prior to the August 11, 2020 Planning and Zoning scheduled meeting, a Will Serve Letter from Blackland Water Supply Company is required to be submitted to the City of Rockwall **

M.17 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions/corrections and return to staff by 3:00 p.m. on Tuesday, August 4, 2020. When resubmitting, please provide two (2) large copies (18" X 24" FOLDED) and one PDF version for a subsequent review by staff. (§01.02(D), Art. 11, UDC)

I.18 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

M.19 The plat mylars require a signature by the County Judge. You must obtain the County Judge's signature prior to submitting the plat and all necessary documents (i.e. mylar copies, tax certificate(s), and filing fees) with the City for filing with Rockwall County. (Section (5)(d), Signature Blocks, of Exhibit 'A', ILA)

I.20 The Planning and Zoning Work Session Meeting will be held on July 28, 2020.

I.21 The Planning and Zoning Regular Meeting will be held on August 11, 2020.

I.22 The City Council meeting for this case is scheduled to be held on August 17, 2020.

I.23 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

Rockwall County Response via Email from Ron Merritt:

David with this appearing to be on some sort of sanitary sewer this office has no comments on the preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/23/2020	Needs Review

07/23/2020: Mandatory Comments:

M - Blackland WSC currently does not have any service connections allowed. They are the water service company for this location.

M - No sewer currently available to the site.

M - Lift station will need to be reviewed and approved by the City.

M - Sewer treatment plant must be approved by TCEQ and copies of the permits must be given to the City. Must also meet the City Standards under section 5.4

M - Must complete a Traffic Impact Analysis for FM 548. City review fees apply.

M - Add note to plat "All open space, drainage, or detention easements to be maintained, repaired, and replaced by the HOA or property owner."

M - Corner clips to be 20'x20', alley clips are 10'x10'. Show these clips.

M - Rockwall County Thoroughfare Plan shows FM 548 to be a Principle Arterial with 120' ROW. verify proper ROW width.

M - 57.5'R for the ROW,

47.5'R for paving for all eyebrows/cul-de-sac.

M - Include a 10' wide Utility easement for all street frontage. See next page for markup.

Informational Comments:

I - Plan not fully reviewed.

Site work will need to be reviewed and approved by City Engineering staff.

Review fees apply.

I - Flood study provided will not be reviewed until a review retainer and permit are submitted to the City Engineering Department with required documents.

I - Cannot increase the stormwater drainage off the site. Detention will likely be needed and the City will review those plans.

I - Drainage areas that are 20 acres or more will need to use the unit hydrograph method for drainage .

I - Must complete a flood study if touching the floodplain. City to review the study and review fees apply.

I - Must delineate the 100-year localized floodplain for all low areas, creeks, streams, etc.

I - Must include a 20' utility easement along FM 548 and Street A per the Water Master Plan.

I - Must have 8" water line looped throughout the site.

I - Minimum 8" sanitary sewer lines.

I - Truck sanitary sewer line must be 12" per the Master Sewer Plan.

I - TxDOT permit required for driveways on FM 548.

I - Retaining walls 6" and over must be rock or stone faced.

I - Retaining walls 3' and over to be engineered.

I - Roads to be concrete paved. No asphalt roads allowed.

I - Minimum easement is 20' wide.

I - All public utilities (water, sewer, storm, etc.) must be centered in easements.

I - No utilities allowed in drainage or detention easements.

I - Residential driveway spacing is 30' minimum between driveways.

I - Must meet City Standards for Design Construction

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	07/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2020	Approved

No Comments

Mandatory Comments:

- M - Blackland WSC currently does not have any service connections allowed. They are the water service company for this location.
- M - No sewer currently available to the site.
- M - Lift station will need to be reviewed and approved by the City.
- M - Sewer treatment plant must be approved by TCEQ and copies of the permits must be given to the City. Must also meet the City Standards under section 5.4
- M - Must complete a Traffic Impact Analysis for FM 548. City review fees apply.
- M - Add note to plat "All open space, drainage, or detention easements to be maintained, repaired, and replaced by the HOA or property owner."
- M - Corner clips to be 20'x20', alley clips are 10'x10'. Show these clips.
- M - Rockwall County Thoroughfare Plan shows FM 548 to be a Principle Arterial with 120' ROW. verify proper ROW width.
- M - 57.5'R for the ROW, 47.5'R for paving for all eyebrows/cul-de-sac.
- M - Include a 10' wide Utility easement for all street frontage. See next page for markup.

Informational Comments:

- I - Cannot increase the stormwater drainage off the site. Detention will likely be needed and the City will review those plans.
- I - Drainage areas that are 20 acres or more will need to use the unit hydrograph method for drainage .
- I - Must complete a flood study if touching the floodplain. City to review the study and review fees apply.
- I - Must delineate the 100-year localized floodplain for all low areas, creeks, streams, etc.
- I - Must include a 20' utility easement along FM 548 and Street A per the Water Master Plan.
- I - Must have 8" water line looped throughout the site.
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- I - Truck sanitary sewer line must be 12" per the Master Sewer Plan.
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- I - Minimum easement is 20' wide.
- I - All public utilities (water, sewer, storm, etc.) must be centered in easements.
- I - No utilities allowed in drainage or detention easements.
- I - Residential driveway spacing is 30' minimum between driveways.
- I - Must meet City Standards for Design Construction



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address N/A

Subdivision RiverRock Trails (Phase 1A)

Lot

N/A

Block

N/A

General Location West Connection to FM548/ South of Poetry Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning N/A

Current Use N/A

Proposed Zoning N/A

Proposed Use Single Family/Residential

Acreage 35.28

Lots [Current]

0

Lots [Proposed]

176

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner DMDs Land Company LLC

Applicant DR Horton - Texas, LTD

Contact Person Ryan Horton

Contact Person David Booth

Address 1501 Alta Drive

Address 4306 Miller Road

City, State & Zip Fort Worth, TX 76107

City, State & Zip Rowlett, TX 75088

Phone 8179882050

Phone 2146074244

E-Mail ryanhorton@gmail.com

E-Mail dbooth@drhorton.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared David L. Booth [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 740.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 1st day of July, 2020. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application. My reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 1st day of July, 2020

Owner's/Applicant's Signature

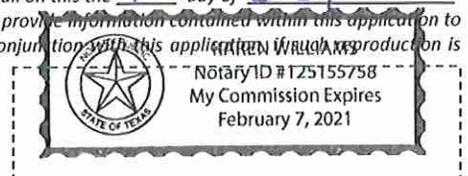
David L. Booth DR Horton - Texas, Ltd

Notary Public in and for the State of Texas

Karen Williams

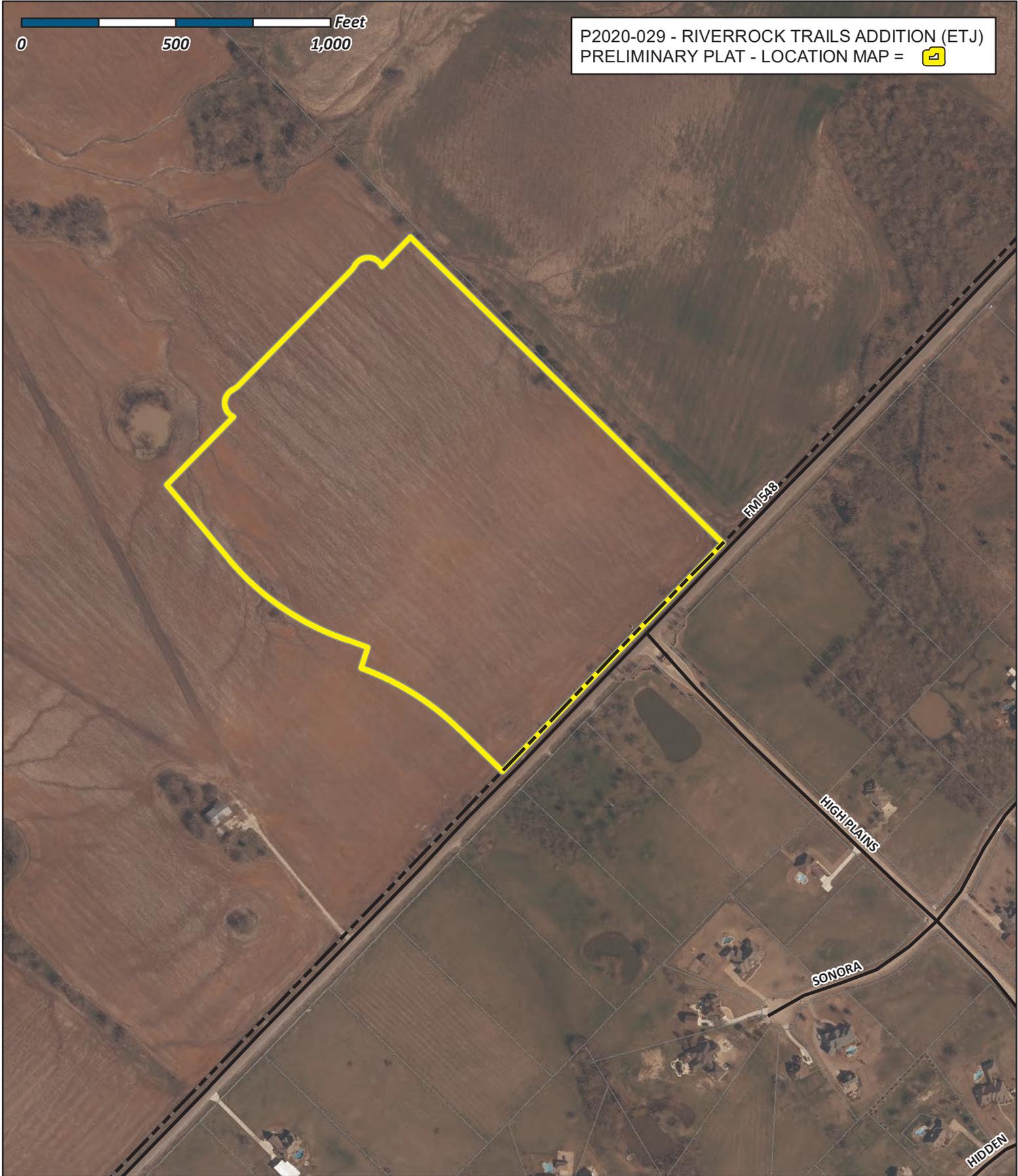
My Commission Expires

2/7/21



0 500 1,000 Feet

P2020-029 - RIVERROCK TRAILS ADDITION (ETJ)
PRELIMINARY PLAT - LOCATION MAP = 

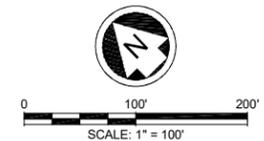
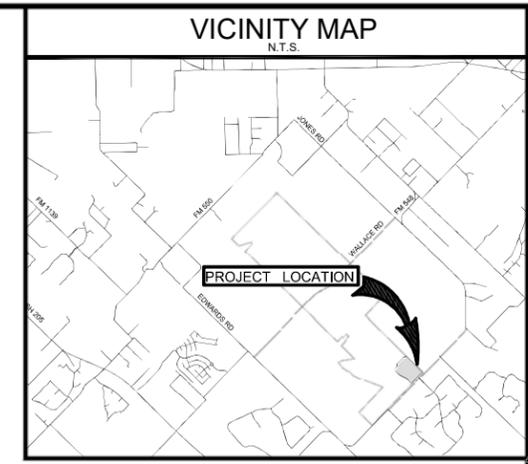


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

- PROPERTY LINE
- - - - PHASE BOUNDARY
- - - - 540 - - - EXISTING CONTOUR

NOTES:

1. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
2. ALL CORNER CLIPS TO BE 10'x10', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'x30'.
3. ALL CURB RADII AT INTERSECTIONS TO BE 20', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'.

LINE TABLE		
LINE	LENGTH	BEARING
L1	1395.00'	N45° 33' 54"W
L2	710.00'	S44° 26' 06"W
L3	27.50'	S45° 33' 54"E
L4	310.00'	S45° 33' 54"E
L5	818.89'	N44° 26' 06"E
L6	910.00'	N45° 33' 54"W
L7	589.43'	S44° 26' 06"W
L8	550.00'	N45° 33' 54"W
L9	520.00'	S44° 26' 06"W

CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD	BEARING
C1	025° 18' 12"	250.00'	56.12'	110.41'	109.51'	N31° 47' 01"E
C2	090° 00' 00"	50.00'	50.00'	78.54'	70.71'	S89° 26' 06"W
C3	090° 00' 00"	50.00'	50.00'	78.54'	70.71'	S00° 33' 54"E

BLOCK LENGTHS		
BLOCK	LOTS	LENGTH (FT)
A	1-30	1335.0
B	1-14	585.0
B	15-18	226.55
B	19-23	220.0
C	1-11	460.0
C	12-22	460.0
D	1-12	509.75
D	13-24	551.50
E	1-20	850.0
E	20-40	850.0
F	1-13	540.0
F	14-25	540.0
G	1-12	540.0

CUL-DE-SAC LENGTHS		
BLOCK	LOTS	LENGTH (FT)
B	12-18	190
D	13-18	375

LAND USE SUMMARY			
USES	+/- ACRES	LOTS	DENSITY (UNITS/AC)
PUBLIC RIGHT-OF-WAY	12.233		
SINGLE FAMILY (A5)	19.347	176	9.09
PRIVATE OPEN SPACE	3.696		
TOTALS	35.276	176	

A PRELIMINARY PLAT FOR

RIVERROCK TRAILS, PHASE 1A

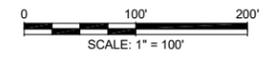
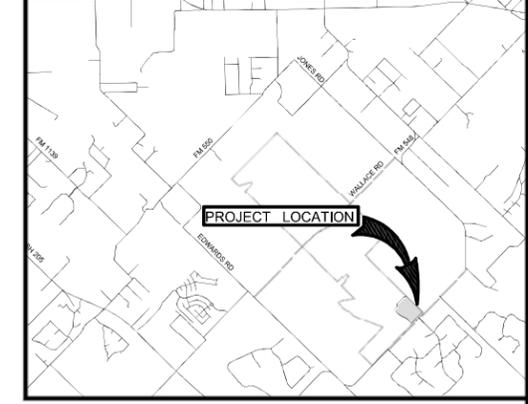
CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G; FOR A TOTAL OF 176 RESIDENTIAL LOTS AND 3 COMMON LOTS

BEING A 35.276 ACRE TRACT OF LAND SITUATED IN THE FRANKLIN BAUGESS SURVEY, ABSTRACT No. 7 LOCATED IN CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

<p>OWNER NAME: DMDS LAND COMPANY, LLC ADDRESS: 1501 ALTA DRIVE, FT. WORTH, TEXAS 76107</p> <p>DEVELOPER NAME: D.R. HORTON - DPW EAST DIVISION ADDRESS: 4306 MILLER ROAD, ROWLETT, TX 75088 CONTACT: DAVID L. BOOTH, CPA PHONE: 214-607-4244</p>	<p>PLANNER / ENGINEER / SURVEYOR</p> <div style="text-align: center;">  <p>PELOTON LAND SOLUTIONS</p> <p><small>TEXAS REGISTRATION ENGINEERING FIRM NO. 12207 11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033 FRISCO OFFICE PHONE: (469) 213-1800</small></p> </div>	
DATE: JULY 2020	DESIGNED: DK	SHEET
PELTON PROJECT #: DRH18008	DRAWN: MCM	2 OF 9
CITY CASE #: XXXXXX	REVIEWER: TRS	

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Last Saved by: Mmadrinez
Last Saved: 7/17/2020 8:53 AM
Plot Date/Time: 7/17/2020 8:54 AM

VICINITY MAP
N.T.S.



LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- 8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
- SSWR GRAVITY LINE WITH 4' MH
- SSWR FORCE MAIN

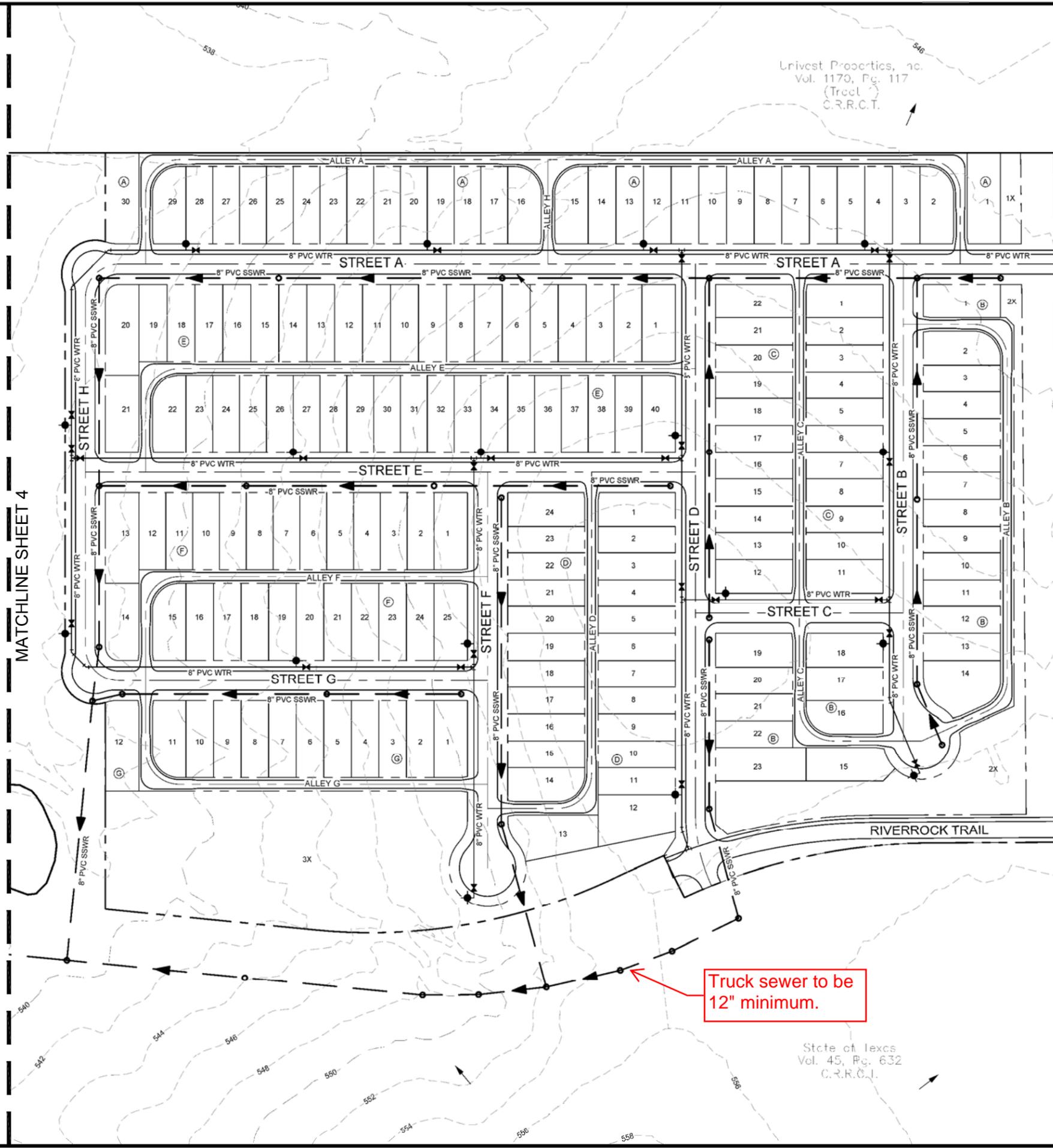
NOTES:

1. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
2. ALL CORNER CLIPS TO BE 10'x10', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'x30'.
3. ALL CURB RADII AT INTERSECTIONS TO BE 20', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'.



KEY MAP

MATCHLINE SHEET 4



Univest Properties, Inc.
Vol. 1170, Pg. 117
(Tract)
C.R.R.C.T.

State of Texas
Vol. 45, Pg. 632
C.R.R.C.T.

A PRELIMINARY PLAT FOR
RIVERROCK TRAILS, PHASE 1A

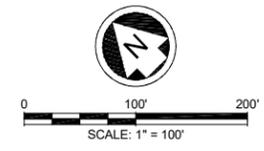
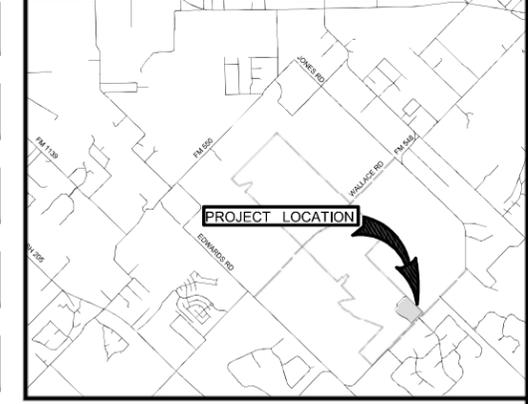
CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G; FOR A TOTAL OF 176 RESIDENTIAL LOTS AND 3 COMMON LOTS

BEING A 35.276 ACRE TRACT OF LAND SITUATED IN THE FRANKLIN BAUGESS SURVEY, ABSTRACT No. 7 LOCATED IN CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

<p>OWNER NAME: DMDS LAND COMPANY, LLC ADDRESS: 1501 ALTA DRIVE, FT. WORTH, TEXAS 76107</p> <p>DEVELOPER NAME: D.R. HORTON - DRW EAST DIVISION ADDRESS: 4306 MILLER ROAD, ROWLETT, TX 75088 CONTACT: DAVID L. BOOTH, CPA PHONE: 214-607-4244</p>	<p>PLANNER / ENGINEER / SURVEYOR</p> <p style="text-align: center;">PELOTON LAND SOLUTIONS</p> <p style="font-size: small;">TEXAS REGISTRATION ENGINEERING FRM NO. 12207 11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033 FRISCO OFFICE PHONE: (469) 213-1800</p>	
DATE: JULY 2020	DESIGNED: DK	SHEET
PELOTON PROJECT #: DRH18008	DRAWN: MCM	3 OF 9
CITY CASE #: XXXXXX	REVIEWER: TRS	

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VICINITY MAP
N.T.S.



LEGEND

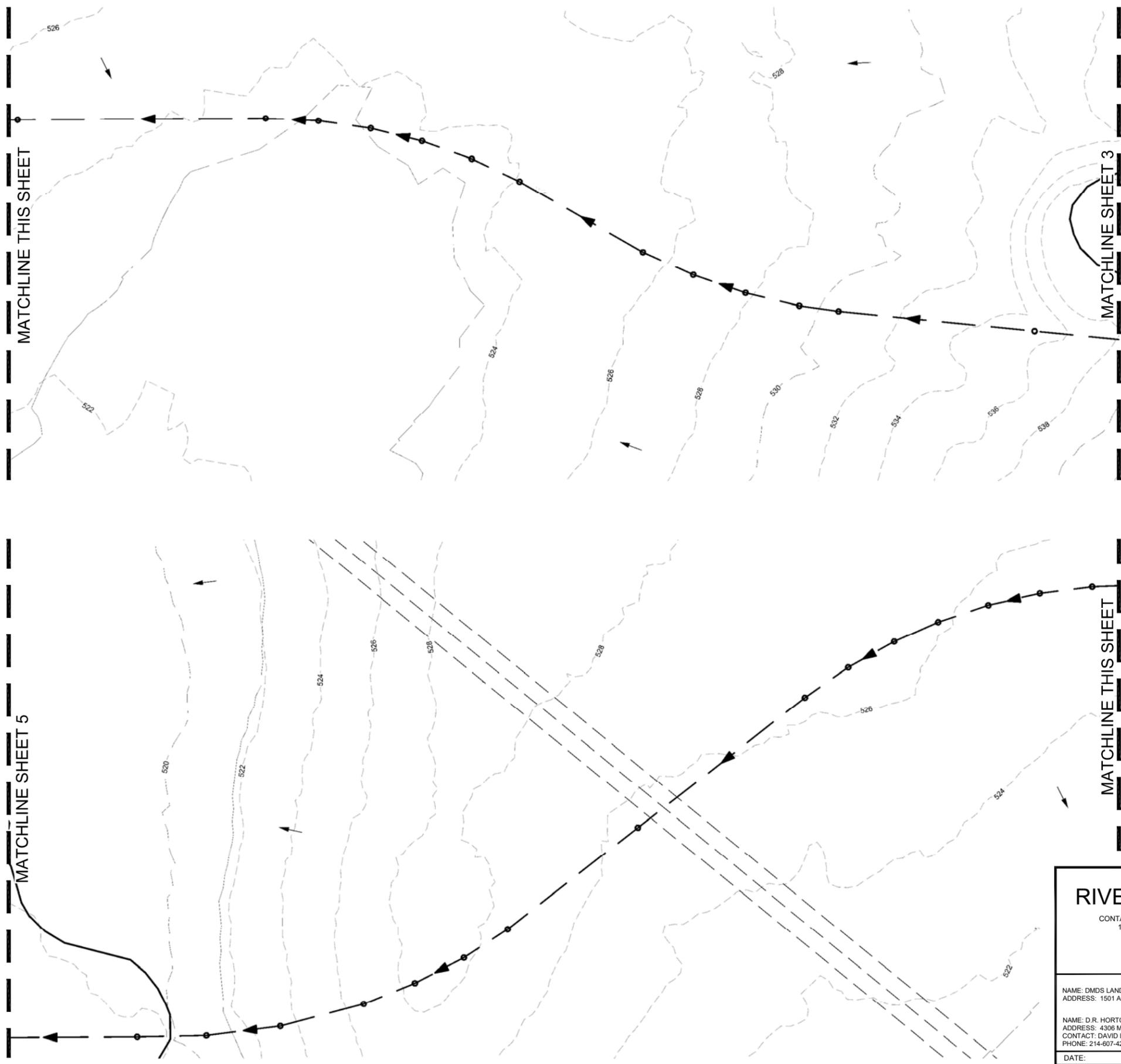
- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- 8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
- SSWR GRAVITY LINE WITH 4' MH
- SSWR FORCE MAIN

NOTES:

1. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
2. ALL CORNER CLIPS TO BE 10'X10', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'X30'.
3. ALL CURB RADII AT INTERSECTIONS TO BE 20', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'.



KEY MAP



A PRELIMINARY PLAT FOR
RIVERROCK TRAILS, PHASE 1A

CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G; FOR A TOTAL OF 176 RESIDENTIAL LOTS AND 3 COMMON LOTS

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OWNER
NAME: DMDS LAND COMPANY, LLC
ADDRESS: 1501 ALTA DRIVE, FT. WORTH, TEXAS 76107

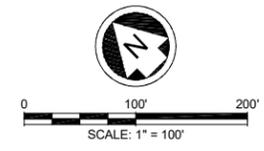
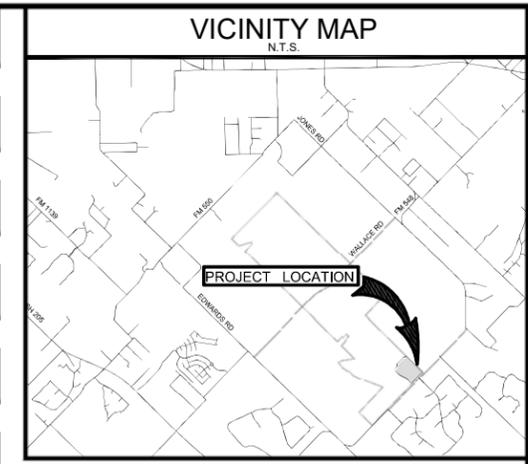
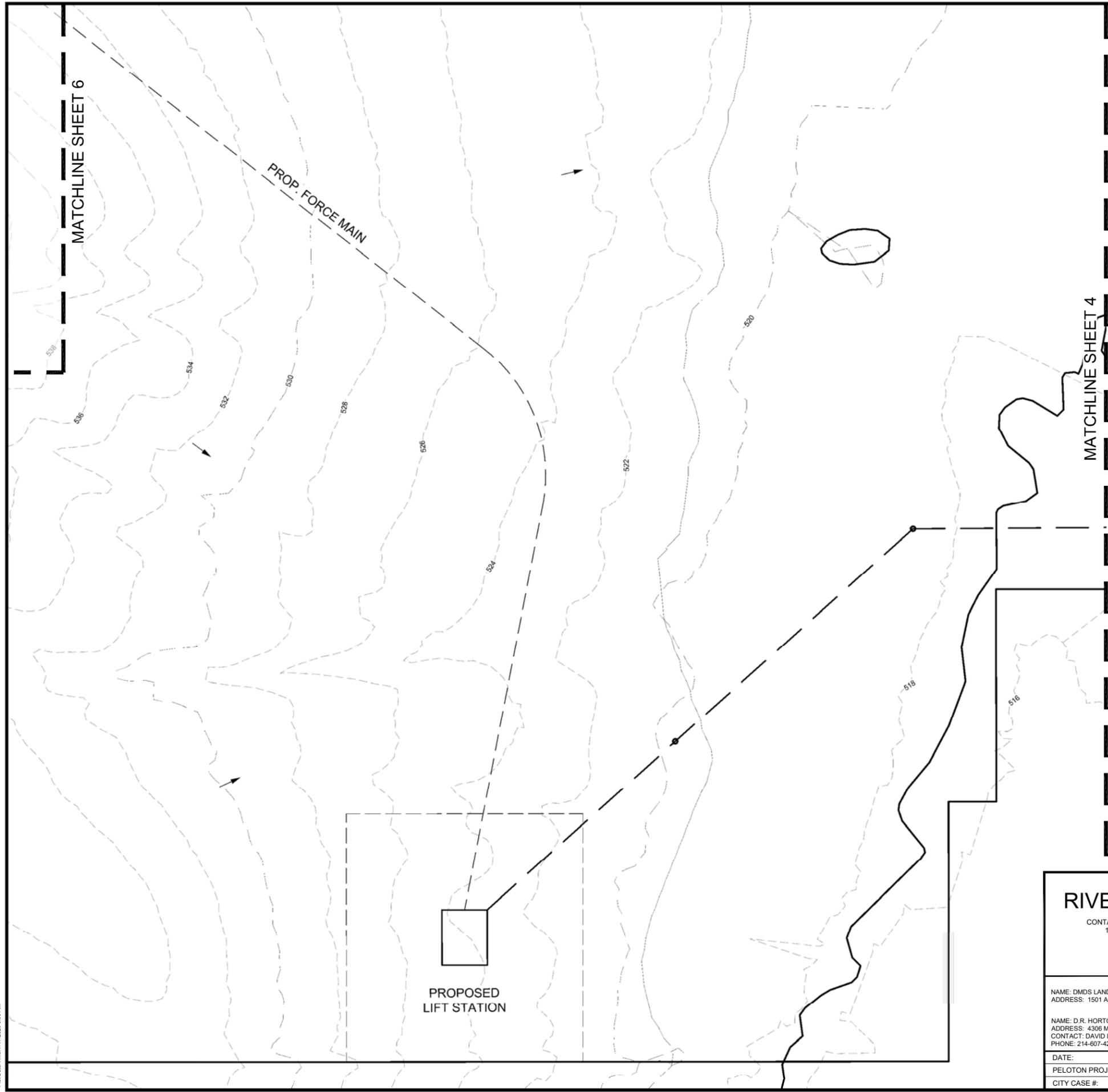
DEVELOPER
NAME: D.R. HORTON - DFW EAST DIVISION
ADDRESS: 4306 MILLER ROAD, ROWLETT, TX 75088
CONTACT: DAVID L. BOOTH, CPA
PHONE: 214-607-4244

PLANNER / ENGINEER / SURVEYOR

PELTON
LAND SOLUTIONS
TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

DATE:	JULY 2020	DESIGNED:	DK	SHEET
PELTON PROJECT #:	DRH18008	DRAWN:	MCM	4 OF 9
CITY CASE #:	XXXXXX	REVIEWER:	TRS	

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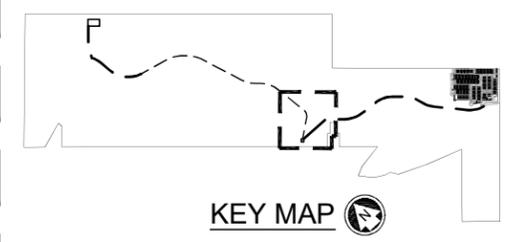


LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- 8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
- SSWR GRAVITY LINE WITH 4" MH
- SSWR FORCE MAIN

NOTES:

1. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
2. ALL CORNER CLIPS TO BE 10'x10', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'x30'.
3. ALL CURB RADII AT INTERSECTIONS TO BE 20', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'.



A PRELIMINARY PLAT FOR
RIVERROCK TRAILS, PHASE 1A

CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G; FOR A TOTAL OF 176 RESIDENTIAL LOTS AND 3 COMMON LOTS

BEING A 35.276 ACRE TRACT OF LAND SITUATED IN THE FRANKLIN BAUGESS SURVEY, ABSTRACT No. 7 LOCATED IN CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
 NAME: DMDS LAND COMPANY, LLC
 ADDRESS: 1501 ALTA DRIVE, FT. WORTH, TEXAS 76107

DEVELOPER
 NAME: D.R. HORTON - DPW EAST DIVISION
 ADDRESS: 4306 MILLER ROAD, ROWLETT, TX 75088
 CONTACT: DAVID L. BOOTH, CPA
 PHONE: 214-607-4244

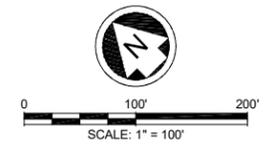
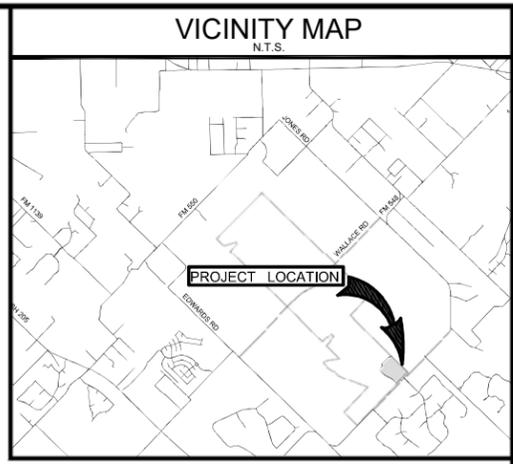
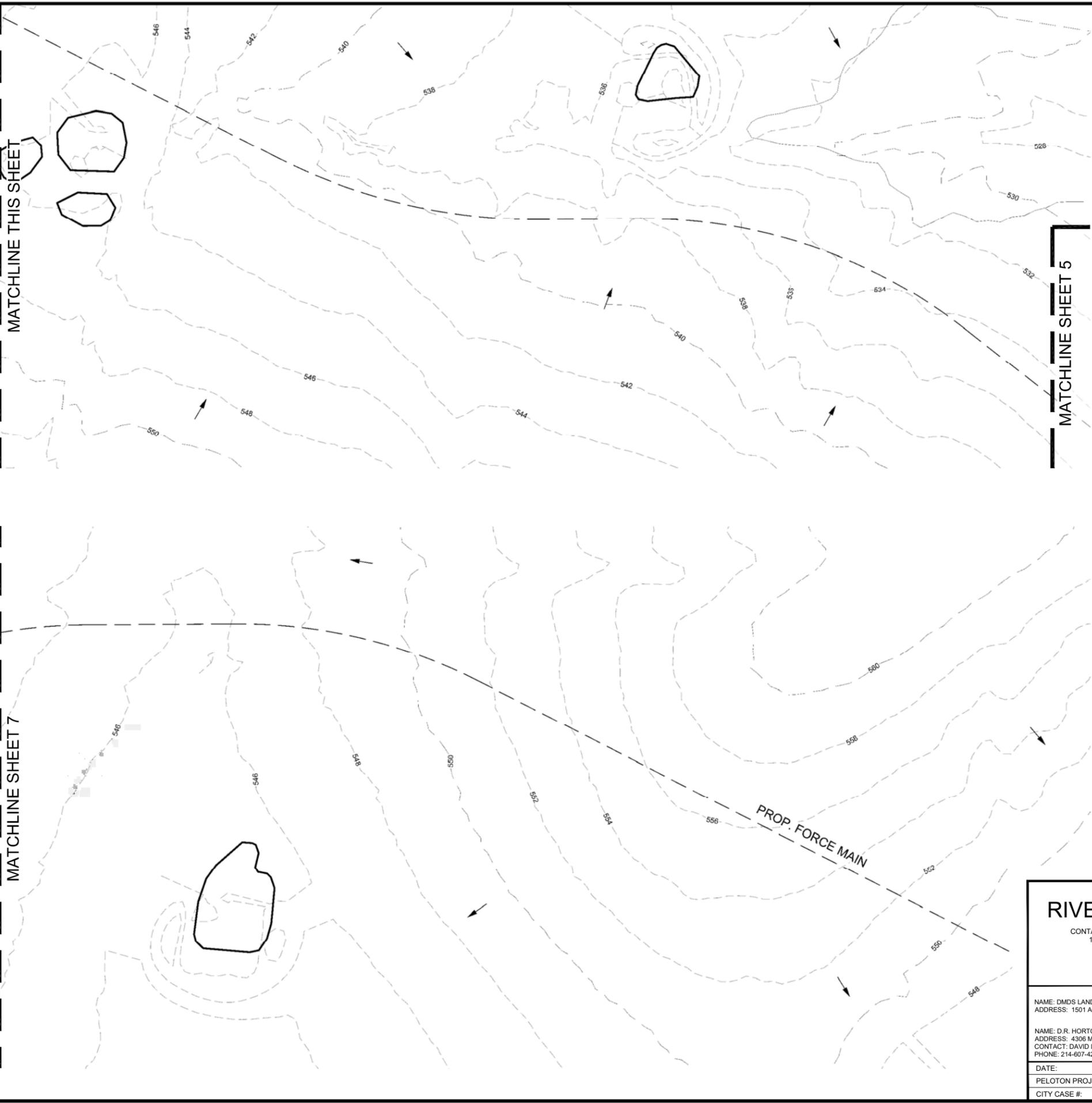
PLANNER / ENGINEER / SURVEYOR

 TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
 11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
 FRISCO OFFICE PHONE: (469) 213-1800

DATE: JULY 2020
 PELOTON PROJECT #: DRH18008
 CITY CASE #: XXXXXX

DESIGNED: DK
 DRAWN: MCM
 REVIEWER: TRS

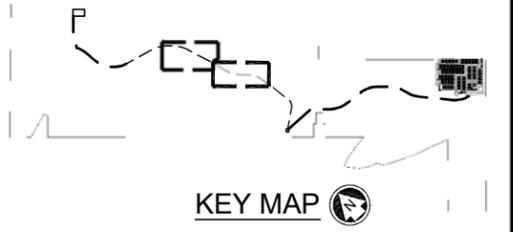
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 Last Saved: 7/17/2020 5:46 PM
 Plot Date/Time: 7/17/2020 6:55 AM



LEGEND

	PROPERTY LINE
	PHASE BOUNDARY
	EXISTING CONTOUR
	8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
	SSWR GRAVITY LINE WITH 4" MH
	SSWR FORCE MAIN

- NOTES:**
1. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
 2. ALL CORNER CLIPS TO BE 10'x10', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'x30'.
 3. ALL CURB RADII AT INTERSECTIONS TO BE 20', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'.



A PRELIMINARY PLAT FOR
RIVERROCK TRAILS, PHASE 1A

CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G; FOR A TOTAL OF 176 RESIDENTIAL LOTS AND 3 COMMON LOTS

BEING A 35.276 ACRE TRACT OF LAND SITUATED IN THE FRANKLIN BAUGESS SURVEY, ABSTRACT No. 7 LOCATED IN CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
 NAME: DMDS LAND COMPANY, LLC
 ADDRESS: 1501 ALTA DRIVE, FT. WORTH, TEXAS 76107

DEVELOPER
 NAME: D.R. HORTON - DFW EAST DIVISION
 ADDRESS: 4306 MILLER ROAD, ROWLETT, TX 75088
 CONTACT: DAVID L. BOOTH, CPA
 PHONE: 214-607-4244

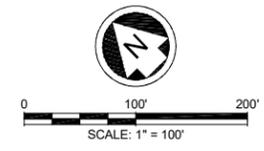
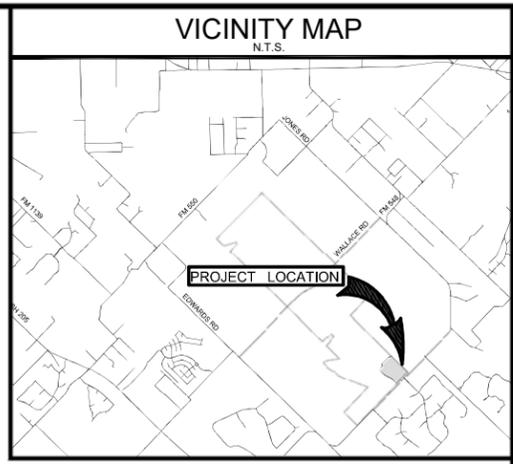
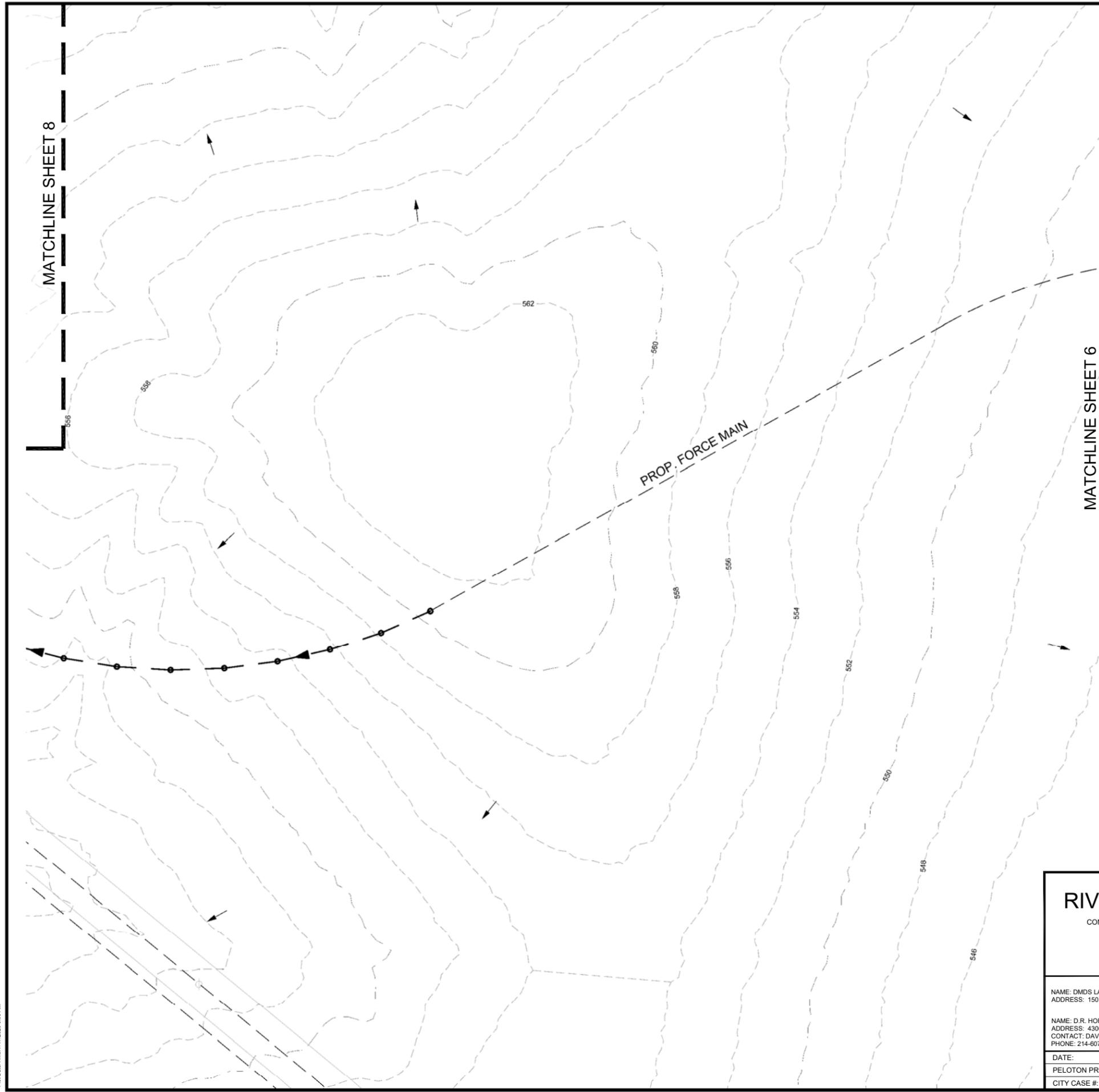
PLANNER / ENGINEER / SURVEYOR

 TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
 11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
 FRISCO OFFICE PHONE: (469) 213-1800

DATE: JULY 2020
 PELOTON PROJECT #: DRH18008
 CITY CASE #: XXXXXX

DESIGNED: DK
 DRAWN: MCM
 REVIEWER: TRS

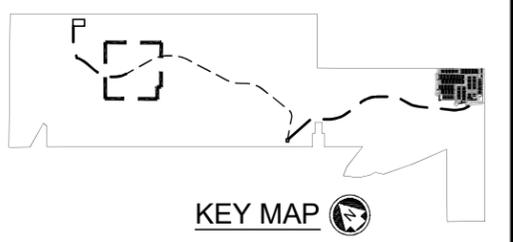
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LEGEND

	PROPERTY LINE
	PHASE BOUNDARY
	EXISTING CONTOUR
	8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
	SSWR GRAVITY LINE WITH 4" MH
	SSWR FORCE MAIN

- NOTES:**
1. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
 2. ALL CORNER CLIPS TO BE 10'x10', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'x30'.
 3. ALL CURB RADII AT INTERSECTIONS TO BE 20', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'.



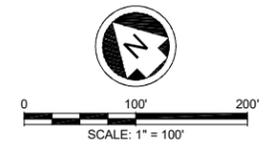
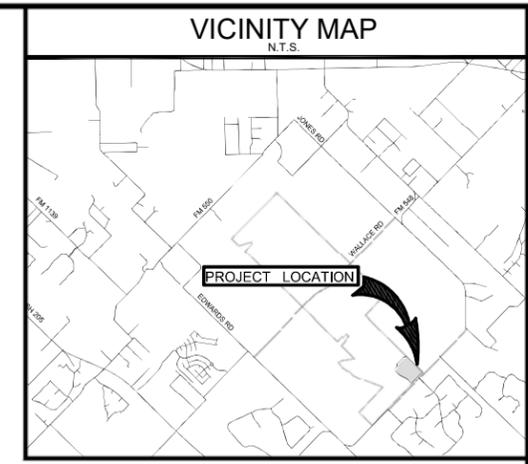
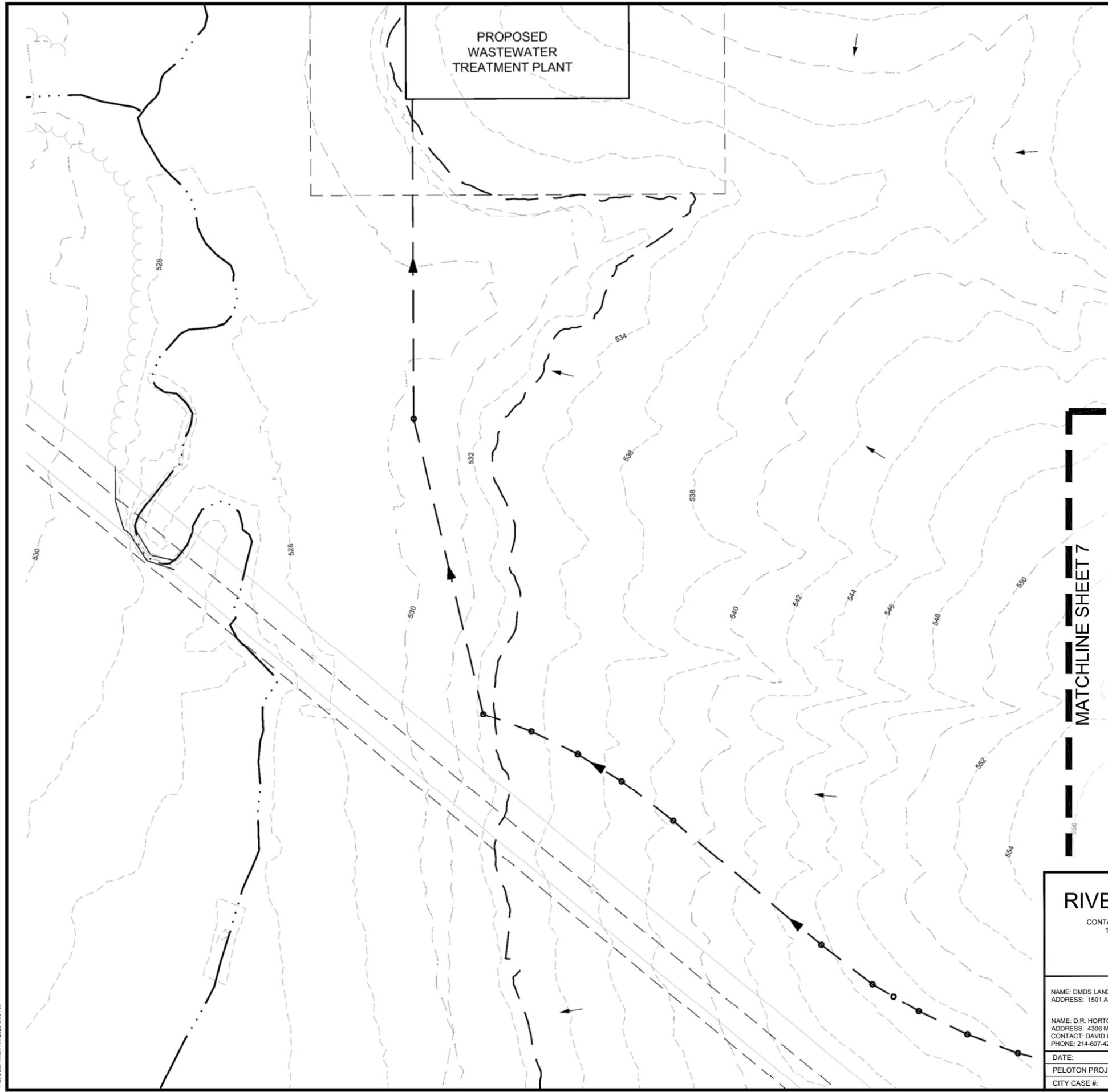
A PRELIMINARY PLAT FOR
RIVERROCK TRAILS, PHASE 1A

CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G;
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BEING A 35.276 ACRE TRACT OF LAND SITUATED
IN THE FRANKLIN BAUGESS SURVEY, ABSTRACT No. 7
LOCATED IN CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

<p>OWNER NAME: DMDS LAND COMPANY, LLC ADDRESS: 1501 ALTA DRIVE, FT. WORTH, TEXAS 76107</p> <p>DEVELOPER NAME: D.R. HORTON - DFW EAST DIVISION ADDRESS: 4306 MILLER ROAD, ROWLETT, TX 75088 CONTACT: DAVID L. BOOTH, CPA PHONE: 214-607-4244</p>	<p>PLANNER / ENGINEER / SURVEYOR</p> <p style="text-align: center;"> PELOTON LAND SOLUTIONS</p> <p style="font-size: small;">TEXAS REGISTRATION ENGINEERING FIRM NO. 12207 11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033 FRISCO OFFICE PHONE: (469) 213-1800</p>	
DATE: JULY 2020	DESIGNED: DK	SHEET
PELOTON PROJECT #: DRH18008	DRAWN: MCM	7 OF 9
CITY CASE #: XXXXXX	REVIEWER: TRS	

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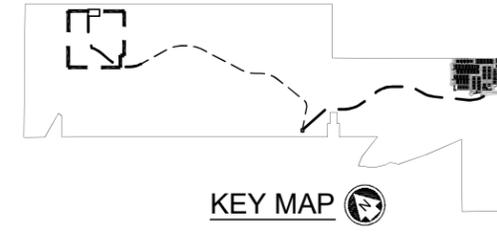


LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- 8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
- SSWR GRAVITY LINE WITH 4" MH
- SSWR FORCE MAIN

NOTES:

1. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
2. ALL CORNER CLIPS TO BE 10'x10', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'x30'.
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MATCHLINE SHEET 7

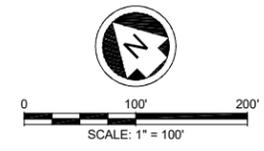
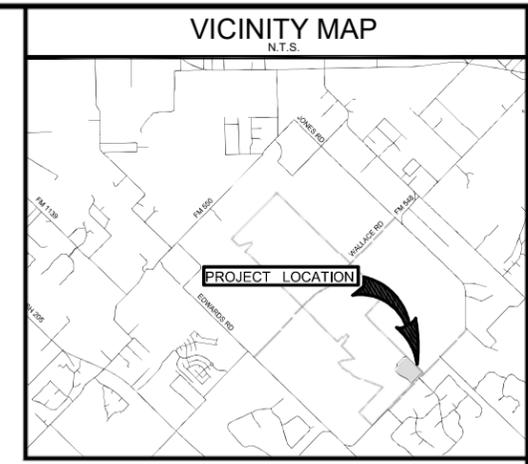
A PRELIMINARY PLAT FOR
RIVERROCK TRAILS, PHASE 1A

CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G; FOR A TOTAL OF 176 RESIDENTIAL LOTS AND 3 COMMON LOTS

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DATE: JULY 2020	DESIGNED: DK	SHEET
PELTON PROJECT #: DRH18008	DRAWN: MCM	8 OF 9
CITY CASE #: XXXXXX	REVIEWER: TRS	

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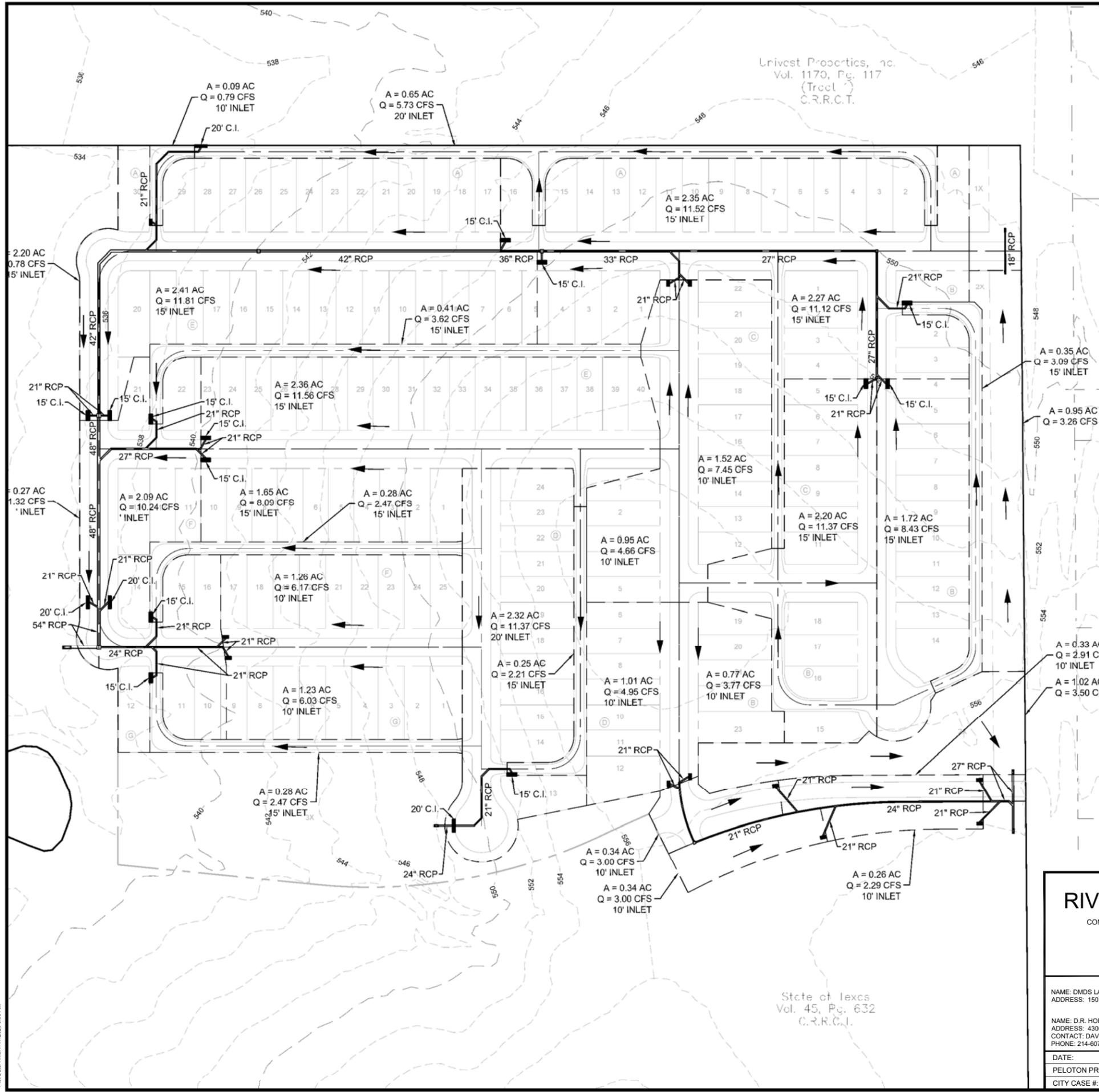
LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- DRAINAGE AREA DIVIDE
- PROPOSED STORM LINE WITH CURB INLET

NOTES:

1. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
2. ALL CORNER CLIPS TO BE 10'x10', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'x30'.
3. ALL CURB RADII AT INTERSECTIONS TO BE 20', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'.
4. ALL CURB INLETS ARE 10' UNLESS OTHERWISE NOTED.

Plan not fully reviewed.
 Site work will need to be reviewed and approved by City Engineering staff.
 Review fees apply.



Univest Properties, Inc.
 Vol. 1170, Pg. 117
 (Tract)
 C.R.R.C.T.

State of Texas
 Vol. 45, Pg. 632
 C.R.R.C.T.

A PRELIMINARY PLAT FOR
RIVERROCK TRAILS, PHASE 1A

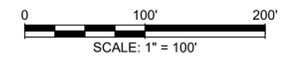
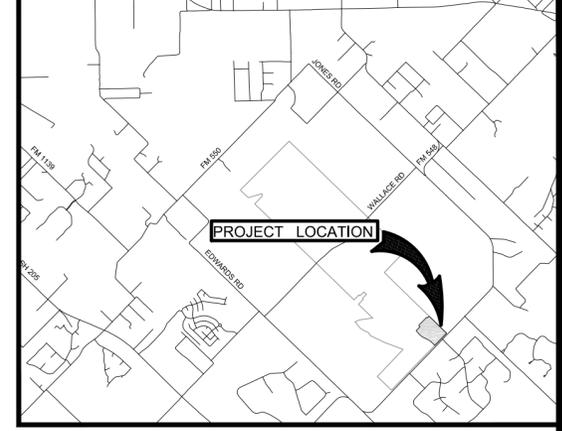
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OWNER NAME: DMDS LAND COMPANY, LLC ADDRESS: 1501 ALTA DRIVE, FT. WORTH, TEXAS 76107		PLANNER / ENGINEER / SURVEYOR NAME: D.R. HORTON - DRW EAST DIVISION ADDRESS: 4306 MILLER ROAD, ROWLETT, TX 75088 CONTACT: DAVID L. BOOTH, CPA PHONE: 214-607-4244	
DATE:	JULY 2020	DESIGNED:	DK
PELTON PROJECT #:	DRH18008	DRAWN:	MCM
CITY CASE #:	XXXXXX	REVIEWER:	TRS
		SHEET	9 OF 9

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VICINITY MAP
N.T.S.

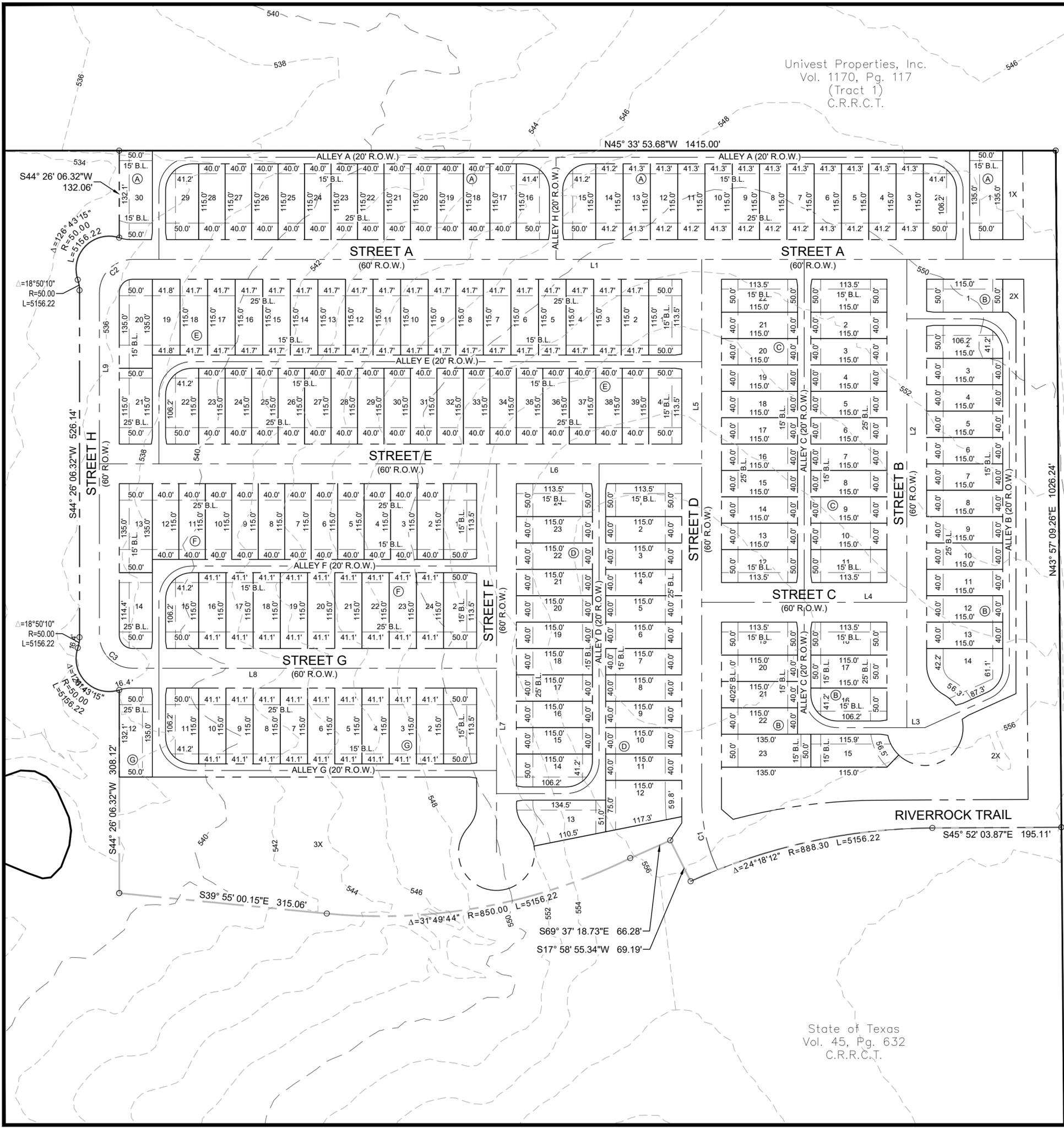


LEGEND

- PROPERTY LINE
- - - PHASE BOUNDARY
- - - 540 EXISTING CONTOUR

NOTES:

1. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
2. ALL CORNER CLIPS TO BE 10'x10', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'x30'.
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Univest Properties, Inc.
Vol. 1170, Pg. 117
(Tract 1)
C.R.R.C.T.

State of Texas
Vol. 45, Pg. 632
C.R.R.C.T.

FM 548

FM 548

FM 548

FM 548

FM 548

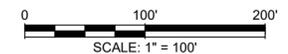
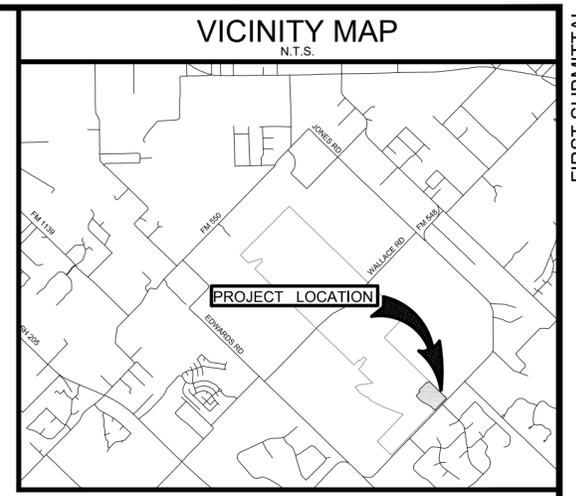
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DATE: JULY 2020	DESIGNED: DK	SHEET
PELTON PROJECT #: DRH18008	DRAWN: MCM	1 OF 9
CITY CASE #:	REVIEWER: TRS	

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 Last Saved: 7/17/2020 8:53 AM
 Plot Date/Time: 7/17/2020 8:54 AM



LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR

- NOTES:
1. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
 2. ALL CORNER CLIPS TO BE 10'x10', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'x30'.
 3. ALL CURB RADII AT INTERSECTIONS TO BE 20', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'.

LINE TABLE		
LINE	LENGTH	BEARING
L1	1395.00'	N45° 33' 54"W
L2	710.00'	S44° 26' 06"W
L3	27.50'	S45° 33' 54"E
L4	310.00'	S45° 33' 54"E
L5	818.89'	N44° 26' 06"E
L6	910.00'	N45° 33' 54"W
L7	589.43'	S44° 26' 06"W
L8	550.00'	N45° 33' 54"W
L9	520.00'	S44° 26' 06"W

CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD	BEARING
C1	025° 18' 12"	250.00'	56.12'	110.41'	109.51'	N31° 47' 01"E
C2	090° 00' 00"	50.00'	50.00'	78.54'	70.71'	S89° 26' 06"W
C3	090° 00' 00"	50.00'	50.00'	78.54'	70.71'	S00° 33' 54"E

BLOCK LENGTHS		
BLOCK	LOTS	LENGTH (FT)
A	1-30	1335.0
B	1-14	585.0
B	15-18	226.55
B	19-23	220.0
C	1-11	460.0
C	12-22	460.0
D	1-12	509.75
D	13-24	551.50
E	1-20	850.0
E	20-40	850.0
F	1-13	540.0
F	14-25	540.0
G	1-12	540.0

CUL-DE-SAC LENGTHS		
BLOCK	LOTS	LENGTH (FT)
B	12-18	190
D	13-18	375

LAND USE SUMMARY			
USES	+/- ACRES	LOTS	DENSITY (UNITS/AC)
PUBLIC RIGHT-OF-WAY	12.233		
SINGLE FAMILY (A5)	19.347	176	9.09
PRIVATE OPEN SPACE	3.696		
TOTALS	35.276	176	

A PRELIMINARY PLAT FOR
RIVERROCK TRAILS, PHASE 1A

CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G; FOR A TOTAL OF 176 RESIDENTIAL LOTS AND 3 COMMON LOTS

BEING A 35.276 ACRE TRACT OF LAND SITUATED IN THE FRANKLIN BAUGESS SURVEY, ABSTRACT No. 7 LOCATED IN CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

<p>OWNER NAME: DMDS LAND COMPANY, LLC ADDRESS: 1501 ALTA DRIVE, FT. WORTH, TEXAS 76107</p> <p>DEVELOPER NAME: D.R. HORTON - DFW EAST DIVISION ADDRESS: 4306 MILLER ROAD, ROWLETT, TX 75088 CONTACT: DAVID L. BOOTH, CPA PHONE: 214-607-4244</p>	<p>PLANNER / ENGINEER / SURVEYOR</p> <p style="text-align: center;"> PELOTON LAND SOLUTIONS</p> <p><small>TEXAS REGISTRATION ENGINEERING FIRM NO. 12207 11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033 FRISCO OFFICE PHONE: (469) 213-1800</small></p>	
DATE: JULY 2020	DESIGNED: DK	SHEET
PELTON PROJECT #: DRH18008	DRAWN: MCM	2 OF 9
CITY CASE #:	REVIEWER: TRS	

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VICINITY MAP
N.T.S.

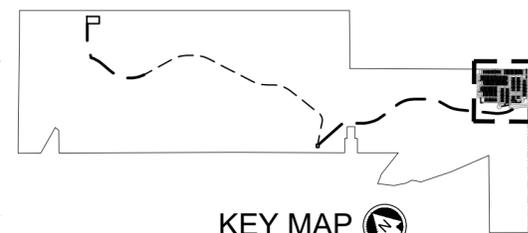


0 100' 200'
SCALE: 1" = 100'

LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- 8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
- SSWR GRAVITY LINE WITH 4" MH
- SSWR FORCE MAIN

- NOTES:
1. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN.
 2. ALL CORNER CLIPS TO BE 10'x10', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'x30'.
 3. ALL CURB RADII AT INTERSECTIONS TO BE 20', EXCEPT ALONG RIVERROCK TRAILS AND COUNTY ROAD 548 WHERE THEY WILL BE 30'.



KEY MAP

Univest Properties, Inc.
Vol. 1170, Pg. 117
(Tract 1)
C.R.R.C.T.

State of Texas
Vol. 45, Pg. 632
C.R.R.C.T.



MATCHLINE SHEET 4

FM 548

FM 548

FM 548

A PRELIMINARY PLAT FOR
RIVERROCK TRAILS, PHASE 1A

CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G; FOR A TOTAL OF 176 RESIDENTIAL LOTS AND 3 COMMON LOTS

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NAME: D.R. HORTON - DFW EAST DIVISION
ADDRESS: 4306 MILLER ROAD, ROWLETT, TX 75088
CONTACT: DAVID L. BOOTH, CPA
PHONE: 214-607-4244

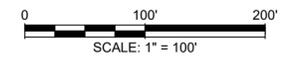
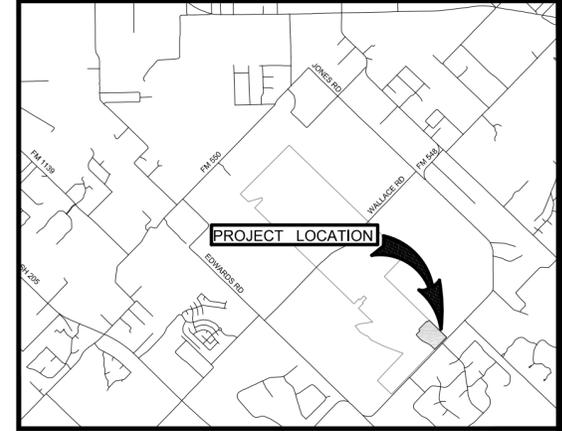
PLANNER / ENGINEER / SURVEYOR

PELTON
LAND SOLUTIONS
TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

DATE: JULY 2020	DESIGNED: DK	SHEET
PELTON PROJECT #: DRH18008	DRAWN: MCM	3 OF 9
CITY CASE #:	REVIEWER: TRS	

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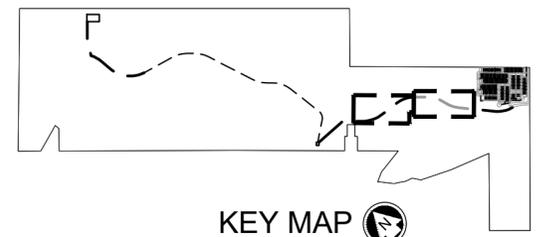
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N.T.S.



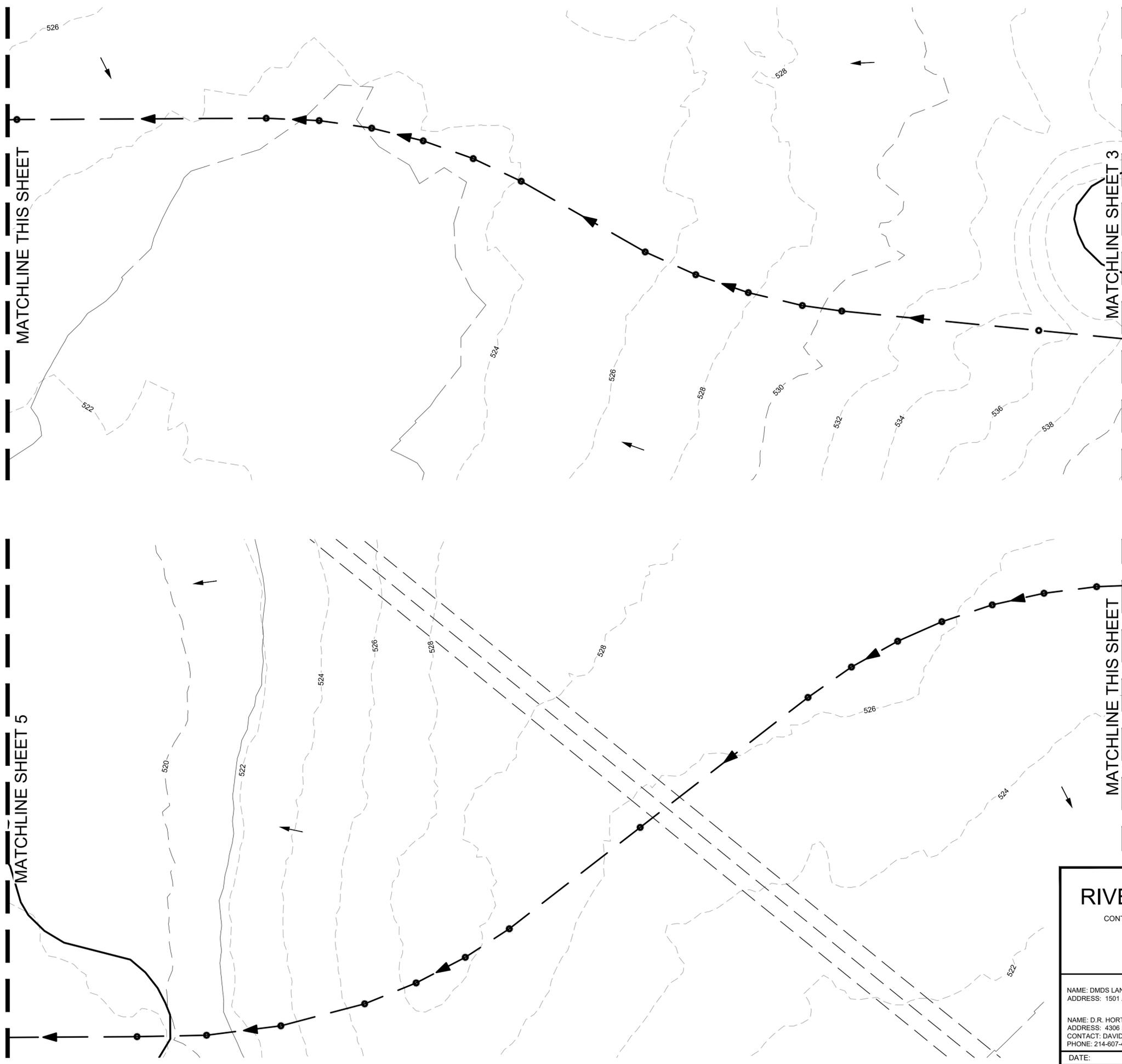
LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- 8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
- SSWR GRAVITY LINE WITH 4" MH
- SSWR FORCE MAIN

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KEY MAP



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CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G; FOR A TOTAL OF 176 RESIDENTIAL LOTS AND 3 COMMON LOTS

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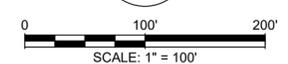
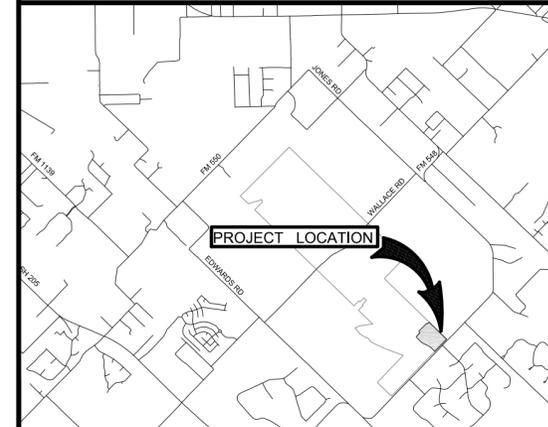
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CONTACT: DAVID L. BOOTH, CPA
PHONE: 214-607-4244

PLANNER / ENGINEER / SURVEYOR
PELOTON
LAND SOLUTIONS
TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

DATE:	JULY 2020	DESIGNED:	DK	SHEET
PELOTON PROJECT #:	DRH18008	DRAWN:	MCM	4 OF 9
CITY CASE #:	XXXXXX	REVIEWER:	TRS	

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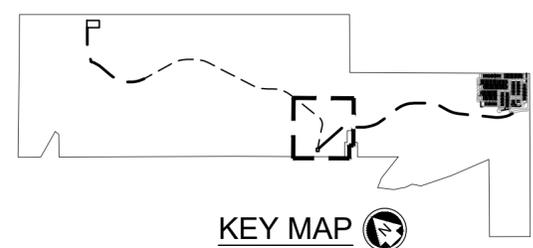
VICINITY MAP
N.T.S.



LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- 8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
- SSWR GRAVITY LINE WITH 4" MH
- SSWR FORCE MAIN

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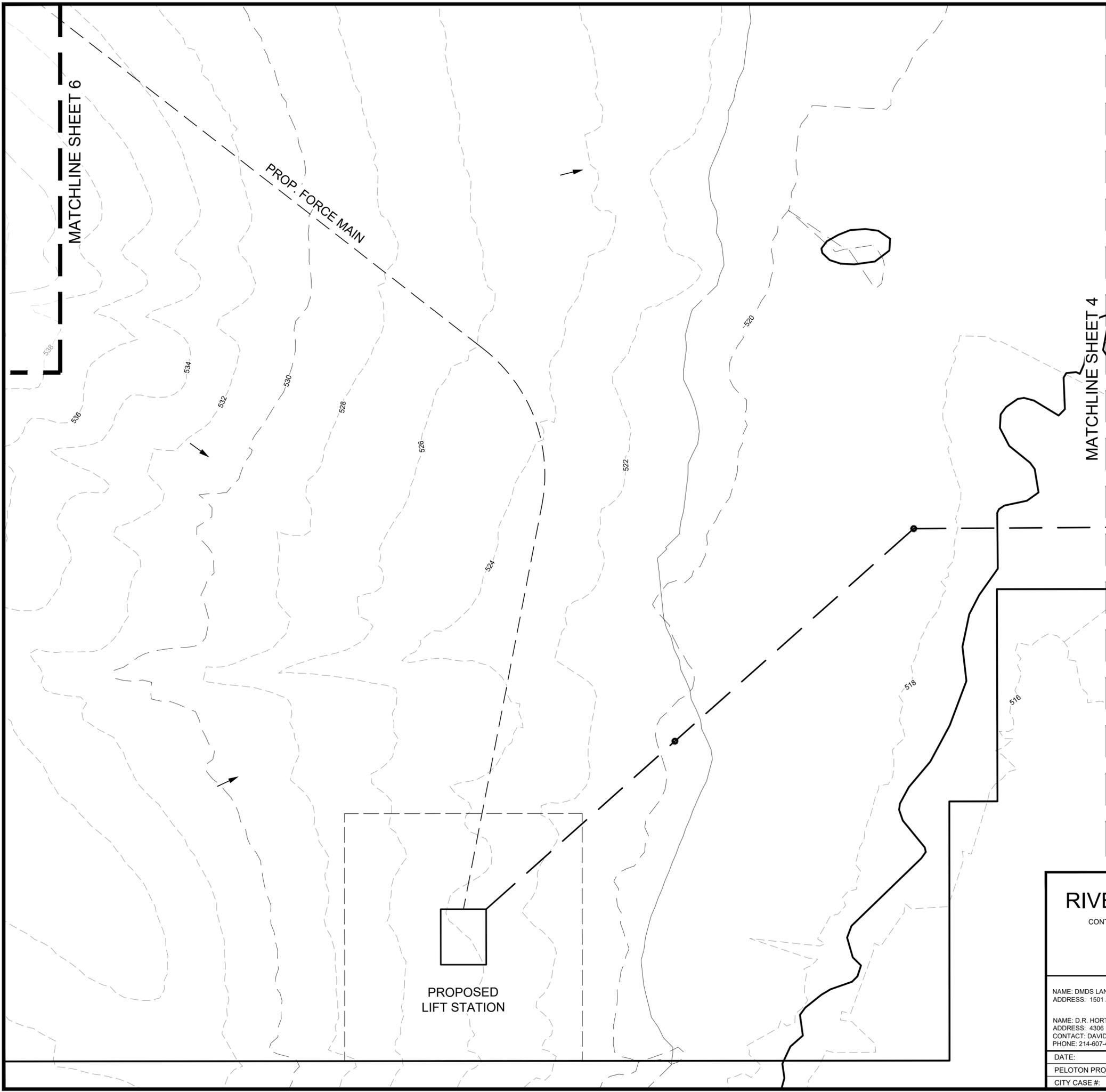
OWNER
NAME: DMDS LAND COMPANY, LLC
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PLANNER / ENGINEER / SURVEYOR

PELTON
LAND SOLUTIONS
TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

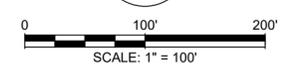
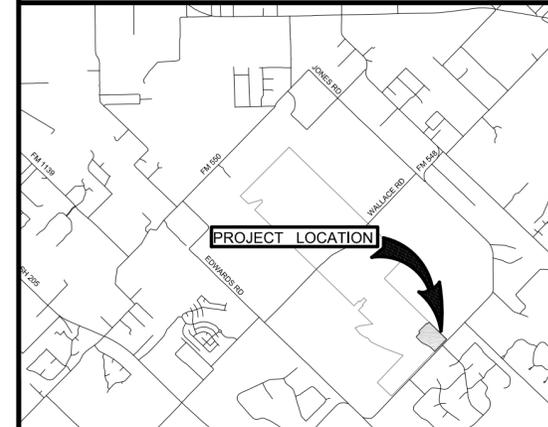
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PELTON PROJECT #:	DRH18008	DRAWN:	MCM	5 OF 9
CITY CASE #:	XXXXXX	REVIEWER:	TRS	



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VICINITY MAP

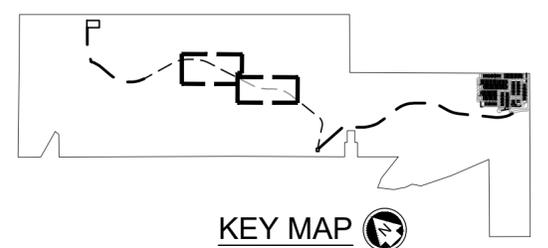
N.T.S.



LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- 8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
- SSWR GRAVITY LINE WITH 4' MH
- SSWR FORCE MAIN

- NOTES:
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KEY MAP

MATCHLINE THIS SHEET

MATCHLINE SHEET 5

MATCHLINE SHEET 7

PROP. FORCE MAIN

A PRELIMINARY PLAT FOR RIVERROCK TRAILS, PHASE 1A

CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G; FOR A TOTAL OF 176 RESIDENTIAL LOTS AND 3 COMMON LOTS

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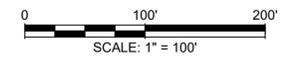
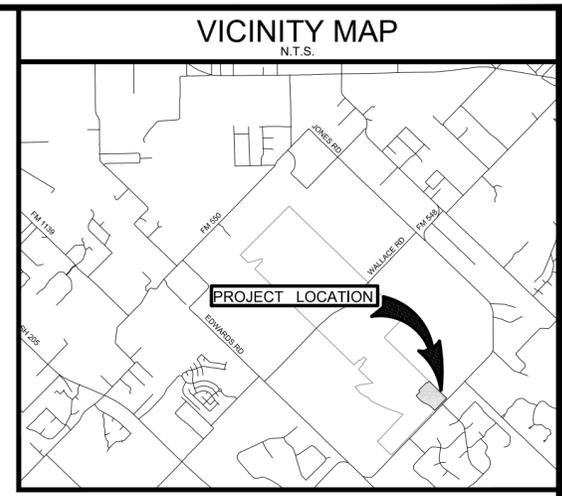
OWNER
 NAME: DMDS LAND COMPANY, LLC
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PELTON
 LAND SOLUTIONS
TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
 11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
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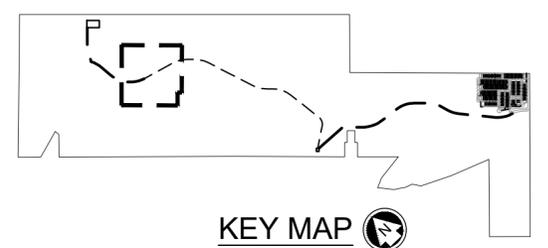
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PELTON PROJECT #:	DRH18008	DRAWN:	MCM	6 OF 9
CITY CASE #:	XXXXXX	REVIEWER:	TRS	



LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- 8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
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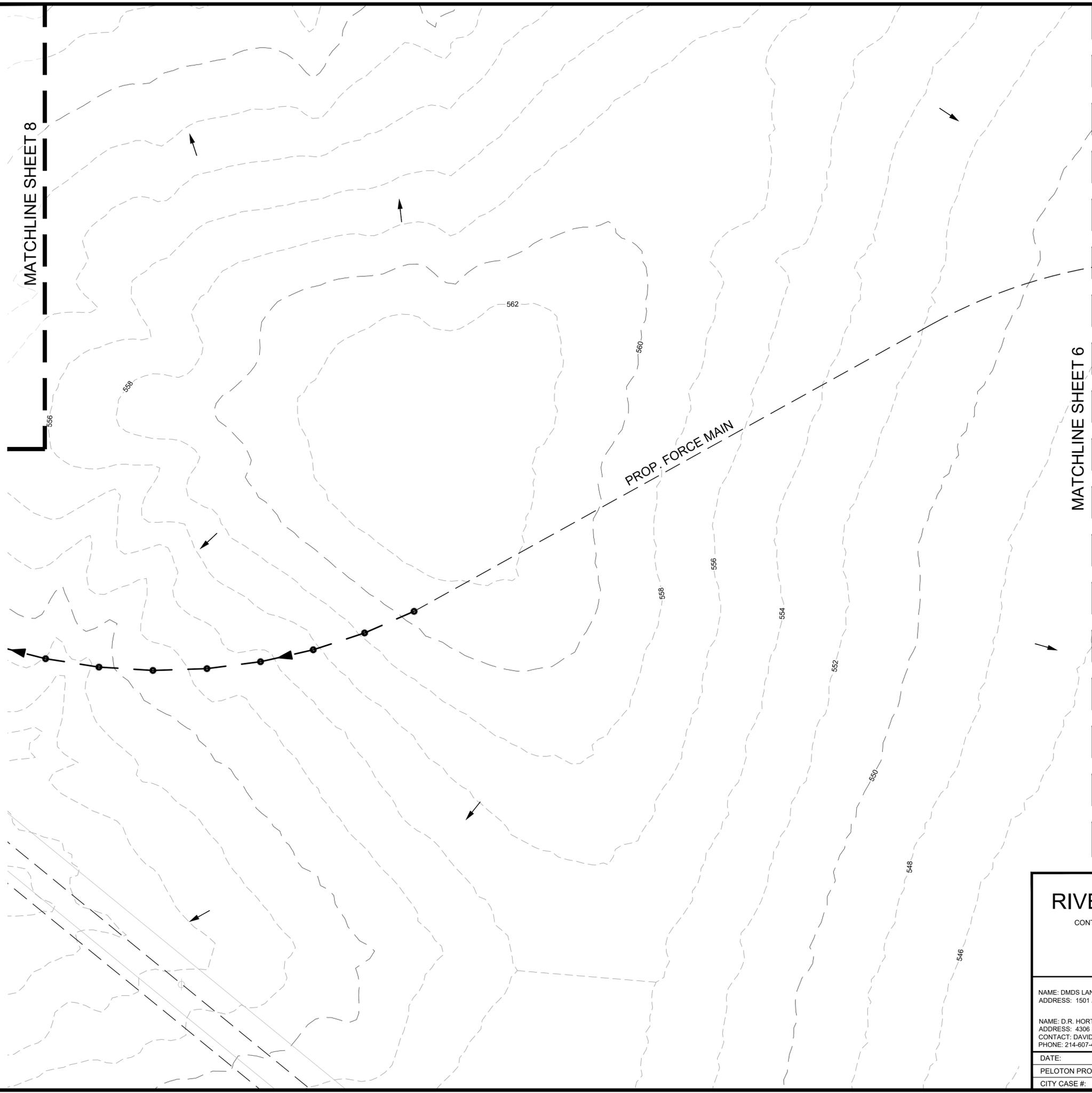


A PRELIMINARY PLAT FOR
RIVERROCK TRAILS, PHASE 1A

CONTAINING LOTS 1-30, 1X, BLK A; LOTS 1-23, 2X, BLK B; LOTS 1-22, BLK C; LOTS 1-24, BLK D; LOTS 1-40, BLK E; LOTS 1-25, BLK F; LOTS 1-12, 3X, BLK G; FOR A TOTAL OF 176 RESIDENTIAL LOTS AND 3 COMMON LOTS

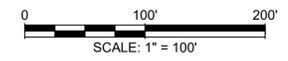
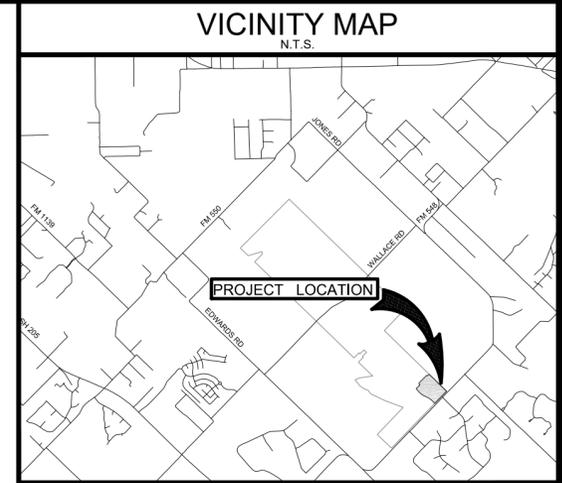
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DATE: JULY 2020	DESIGNED: DK	SHEET
PELTON PROJECT #: DRH18008	DRAWN: MCM	7 OF 9
CITY CASE #:	REVIEWER: TRS	



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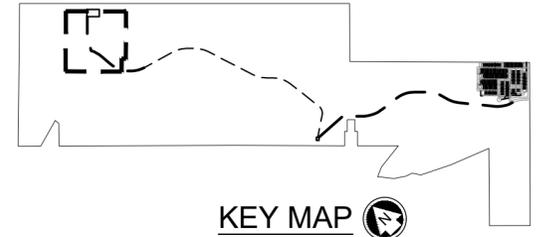
PROPOSED
WASTEWATER
TREATMENT PLANT



LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- 8" WATER LINE WITH FIRE HYDRANT & 8" GATE VALVE
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MATCHLINE SHEET 7

A PRELIMINARY PLAT FOR
RIVERROCK TRAILS, PHASE 1A

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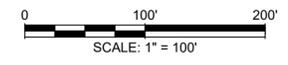
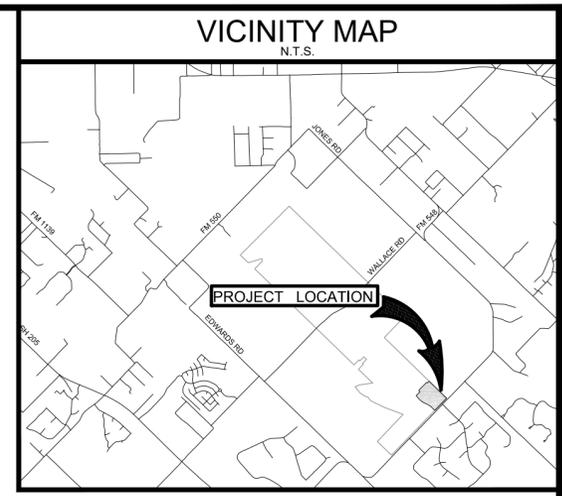
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PLANNER / ENGINEER / SURVEYOR

 TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
 11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
 FRISCO OFFICE PHONE: (469) 213-1800

DATE:	JULY 2020	DESIGNED:	DK	SHEET
PELTON PROJECT #:	DRH18008	DRAWN:	MCM	8 OF 9
CITY CASE #:	XXXXXX	REVIEWER:	TRS	

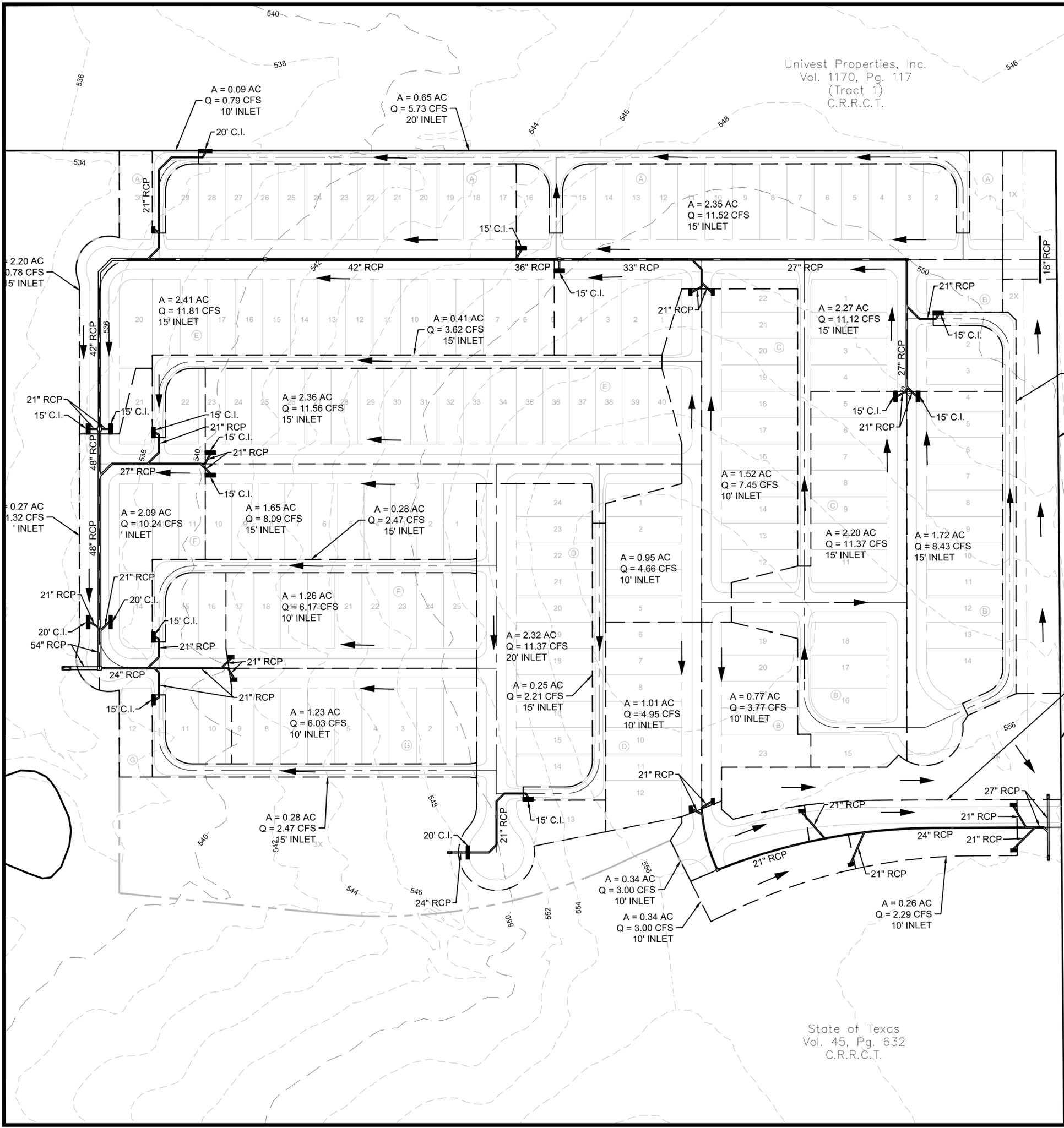
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LEGEND

- PROPERTY LINE
- PHASE BOUNDARY
- EXISTING CONTOUR
- DRAINAGE AREA DIVIDE
- PROPOSED STORM LINE WITH CURB INLET

- NOTES:**
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 4. ALL CURB INLETS ARE 10' UNLESS OTHERWISE NOTED.



Univest Properties, Inc.
Vol. 1170, Pg. 117
(Tract 1)
C.R.R.C.T.

State of Texas
Vol. 45, Pg. 632
C.R.R.C.T.

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DEVELOPER
NAME: D.R. HORTON - DFW EAST DIVISION
ADDRESS: 4306 MILLER ROAD, ROWLETT, TX 75088
CONTACT: DAVID L. BOOTH, CPA
PHONE: 214-607-4244

PLANNER / ENGINEER / SURVEYOR
 PELOTON LAND SOLUTIONS
TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
11000 FRISCO STREET, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

DATE: JULY 2020	DESIGNED: DK	SHEET
PELOTON PROJECT #: DRH18008	DRAWN: MCM	9 OF 9
CITY CASE #: XXXXXX	REVIEWER: TRS	

Drawing: I:\Projects\18008_koch_trail_rockwall_co_1237_acm\asb\dev\entitlements\preliminary\plat\DRH18008-C-PLAT Drainage Areas
 Last Saved by: M. M...
 Last Saved: 7/12/2020 8:44 PM
 Plot Date/Time: 7/17/2020 8:55 AM

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/24/2020

PROJECT NUMBER: SP2020-012
PROJECT NAME: Saddle Star Estates
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-771-7740
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	07/24/2020	Needs Review

07/24/2020: SP2020-012; Site Plan for Saddle Star Amenities Center

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for the amenities center for the Saddle Star Estates Subdivision being a 0.782-acre portion of a larger two (2) acre tract of land identified as Tract 1 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard south of Featherstone Drive.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2020-012) in the lower right-hand corner of all pages of all revised plan submittals. (§01.02(D), Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development District No. 79 (PD-79), and the Development Standards of Article 05 that are applicable to the subject property. (§01.02(D), Art. 11, UDC)

I.5 Please note that the property will require a Will Serve Letter from Blackland Water Supply Company prior to final approval of the site plan. Additionally, a replat is required prior to the issuance of a building permit. Finally, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

I.6 Signage Plan. Please note that all plans for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

M.7 A Site Data Table as found on Site Plan (i.e. density and dimensional requirements) is required to be placed on all plans submitted (i.e. site plan, landscape plan, photometric plan, etc.), with the exception of the building elevations. (§01.02(D), Art. 11, UDC)

M.8 Provide the standard signature block with signature spaces for the Planning & Zoning Chairman and Planning Director on all plans submitted. (§03.04.A, Art. 11, UDC)

M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§03.04, Art. 11, UDC):

- 1) The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100' (i.e. base 10). Scale indicates 1" = 16.0'. Correct scale. (§03.04.A, Art. 11, UDC)
- 2) Indicate the wall lengths of all buildings on the site. (§03.04.B, Art. 11, UDC)
- 3) Indicate the distance between all property lines and existing and planned buildings located on the site. (§03.04.B, Art. 11, UDC)
- 4) Indicate the street centerline for all existing and proposed streets. (§03.04.B, Art. 11, UDC)
- 5) Use a darker gray scale to better delineate the parking spaces adjacent to the site. (§05.03, Art. 06, UDC)
- 6) Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material. (§03.02, Art. 06, UDC)

M.9 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (Sec. 2, Art. 08, UDC):

- 1) Correct the Landscape Plant Legend of sheet LS1 of 2 to indicate a minimum of 5-gallon size for the Sunshine Ligustrum shrubs. (§05.03.B, Art. 08, UDC)
- 2) Correct the Landscape Plant Legend of sheet LS2 of 2 to indicate a minimum 4-inch caliper for the required canopy trees (i.e. Live Oak & Cedar Elm) and a minimum of 5-gallon size for the Sunshine Ligustrum shrubs. (§05.03.B, Art. 08, UDC)
- 3) Provide a note for the decomposed granite -- located in the community garden -- that a plant bed edge will be used to prevent the materials from spilling outside of the garden area. (§01.02(D), Art. 11, UDC)
- 4) Provide note indicating that trees must be planted at least five (5) feet from water, sewer and storm sewer lines. (Subsection 5.03.E, Art. 08, UDC)

I.10 Treescap Plan. According to Section 3.4, Treescap Plan Review Process, of Article 09, of the UDC, The planning and zoning commission will review and approve or disapprove the treescap plan. The decision of the planning and zoning commission may be appealed to the city council. The treescap plan requires approval by the Planning and Zoning Commission as submitted.

- 1) Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan. (§03.01.C, Art. 09, UDC)
- 2) Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction. Use a heavier gray scale for contours and indicate all of the amenity center building footprint. (§03.01.E, Art. 09, UDC)
- 3) Correct Treescap Table to indicate mitigation for Tree #9 (i.e. 24-inch Pin Oak). Total mitigation should be 42-inches. Total mitigation credit should equal -63-inches. (§03.01.G, Art. 09, UDC)

M. 11 Photometric Plan. According to Section 3.3, Minimum Requirements, of Article 07, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any residentially zoned property shall be 0.2 of one (1) FC. Please make the following corrections and/or conditions.

- 1) Reduce the lighting levels along Roy's Drive and Randas Way where the levels exceed 0.2-FC. (§03.03, Art. 07, UDC)
- 2) Indicate the Mounting Height for all Proposed Light Fixtures. No light standard, light fixture, light pole, pole base or combination thereof shall exceed 20-feet in total height in any overlay district (i.e. SH-205 By-Pass Overlay (SH-205 BY-OV) District). (§06.02.G, Art. 05, UDC)
- 3) Provide cut sheets for all exterior lighting fixtures. (§03.03, Art. 07, UDC)

M.12 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:

- 1) It appears that the rear elevation has a shower hose. Must meet building inspection plumbing standards.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on August 4, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 4, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 11, 2020 Planning & Zoning Meeting.

I.15 The Architectural Review Board (ARB) meeting will be held on July 28, 2020 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission.

I.16 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on July 28, 2020.
- 2) Architectural Review Board (ARB) meeting will be held on July 28, 2020.
- 3) Planning & Zoning meeting/public hearing meeting will be held on August 11, 2020.
- 4) Architectural Review Board (ARB) meeting will be held on August 11, 2020 (if required).

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 5:00 p.m. (ARB) and 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/23/2020	Needs Review

- 07/23/2020: M - Will need a concrete barrier to keep the decomposed granite in place.
 M - Must include a public sidewalk easement where sidewalk is not in the ROW.
 M - Parking cannot back out onto a public roadway.
 M - Include 20'x20' Visibility and Sidewalk Easement.
 M - Submit an overall view showing the different phases and the amenity center.
 M - How is the amenity center tying into Phase 1?
 M - Plans are not fully reviewed until the phase limits are clearly shown.
 M - No sewer available for phase 3 according to the infrastructure study.
 M - No water service agreement for Rockwall to serve water.
 M - Prove that the amenity center is detained for now.

I - Is this part of Phase 2 now? It was originally not part of the amenity center plans.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	07/22/2020	Approved w/ Comments

07/22/2020: FENCE WILL NOT MEET POOL BARRIER REQUIREMENTS.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2020	Approved

No Comments

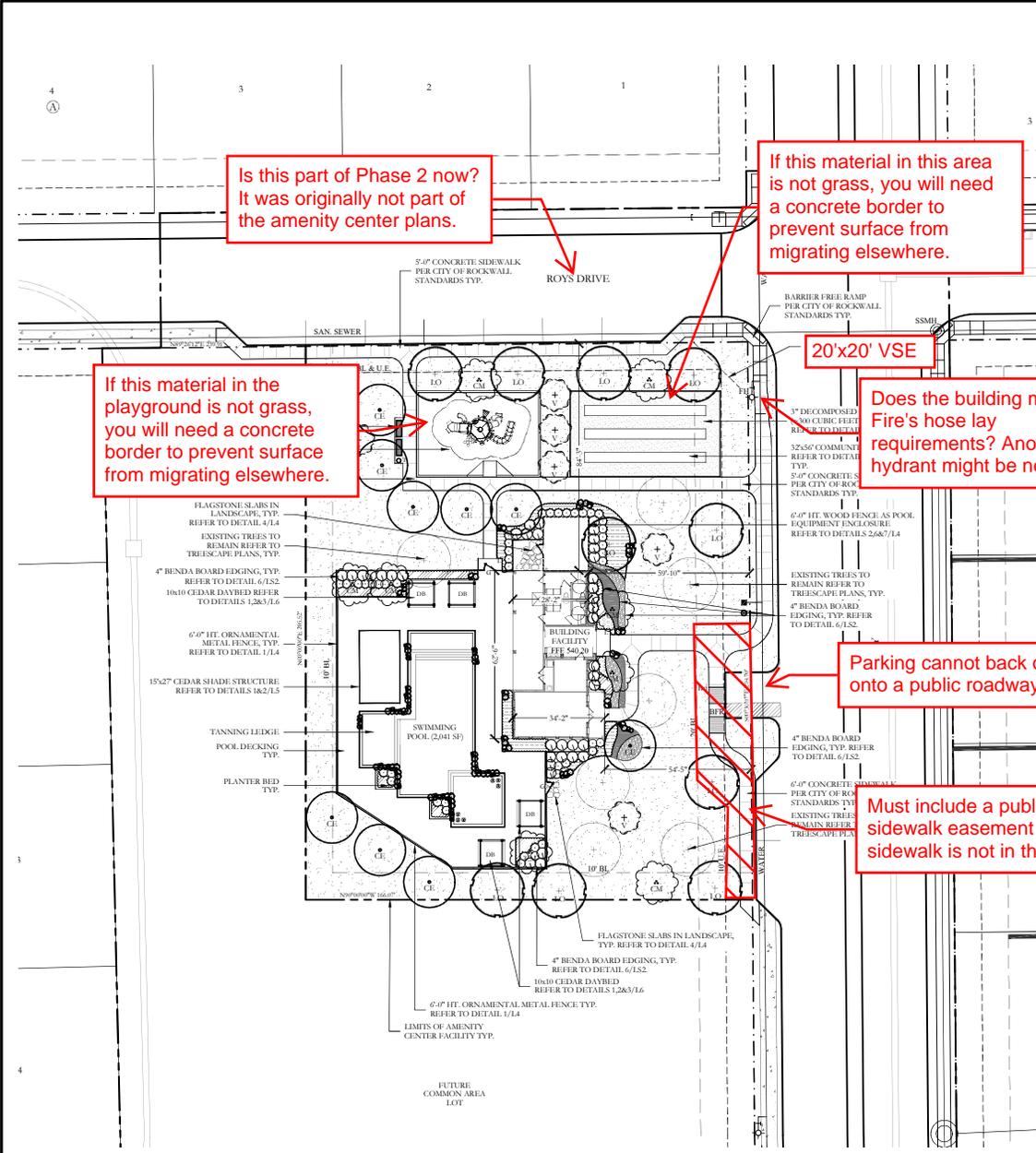
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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07/21/2020: Shade trees require minimum 4" caliper (Live Oak and Cedar Elm)

Plans show 3" on one plant legend and 4" on another plant legend

Make sure playground is IPEMA certified

Make sure all trees are 5' from underground utilities



Is this part of Phase 2 now? It was originally not part of the amenity center plans.

If this material in this area is not grass, you will need a concrete border to prevent surface from migrating elsewhere.

If this material in the playground is not grass, you will need a concrete border to prevent surface from migrating elsewhere.

20'x20' VSE

Does the building meet Fire's hose lay requirements? Another hydrant might be needed.

Parking cannot back out onto a public roadway.

Must include a public sidewalk easement where sidewalk is not in the ROW.

LANDSCAPE PROVIDED

- ROY'S DRIVE
 A. MINIMUM TEN (10) FEET
 B. 1-4" CAL. CANOPY TREE, 164 LF OF FRONTAGE / 5 PROVIDED: 4-4" CA
 RANDAS WAY
 A. MINIMUM TEN (10) FEET
 B. 1-4" CAL. CANOPY TREE, 207 LF OF FRONTAGE / 5 PROVIDED: 4-4" CA PLUS 3-L

NOTE: IRRIGATION DESIGN WILL MEET

PLANT LEGEND

SYMBOL	SCIENTIFIC NAME	SIZE	SPACING
(Symbol)	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
(Symbol)	ELMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
(Symbol)	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
(Symbol)	LAGERSTROEMIA INDICA 'NATCHIGZ'	2" CALIPER	AS SHOWN
(Symbol)	LEUCOPHYLLUM FRUTICOSUM	7 GALLON	48" O.C.
(Symbol)	LIGUSTRUM SINENSE 'SUNSHINE'	3 GALLON	36" O.C.
(Symbol)	PENNISTEMUM ALOPECUROIDES 'FLAMEL'	1 GALLON	18" O.C.
(Symbol)	GULF MUHLY GRASS	MULLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON 24" O.C.
(Symbol)	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON 18" O.C.
(Symbol)	WEeping LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON 18" O.C.
(Symbol)	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT 8" O.C.
(Symbol)	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET SOLID SOD
(Symbol)	BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 41 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET 1/4" DIAMETER
(Symbol)	TEXAS RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 41 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET EQUAL COMBINATION OF 1-2" & 2-4"
(Symbol)	OKLAHOMA MOSS ROCK BOULDERS	1.5' DIAMETER REFER TO DETAIL 1/LS2	TON AS SHOWN

LOT CA-4 SITE INFORMATION
 ZONING: PD-79
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 34/78.00 S.F. OR 0.782 ACRES
 BUILDING AREA: 1,909.00 SF
 BUILDING HEIGHT: 21'-0" (1 STORY)
 FLOOR TO AREA: 0.00571 (1,909/34,078)
 LOT COVERAGE: 0.056%
 PARKING REQUIRED: 10 SPACES
 PARKING PROVIDED: 10 TOTAL (WITH 1 HANDICAP)
 HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS
 PROPOSED IMPERVIOUS COVERAGE: 11,315.30 SF
 PROPOSED IMPERVIOUS RATIO: 0.3779 OR 33.79%



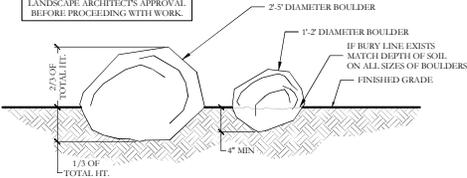
**LANDSCAPE PLAN
 SADDLE STAR ESTATES
 SOUTH PHASE TWO A
 LOT CA-4
 ~AMENITY CENTER~**

BEING 0.782 ACERS SITUATED IN THE:
 P.B. HARRISON SURVEY, A-97
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS

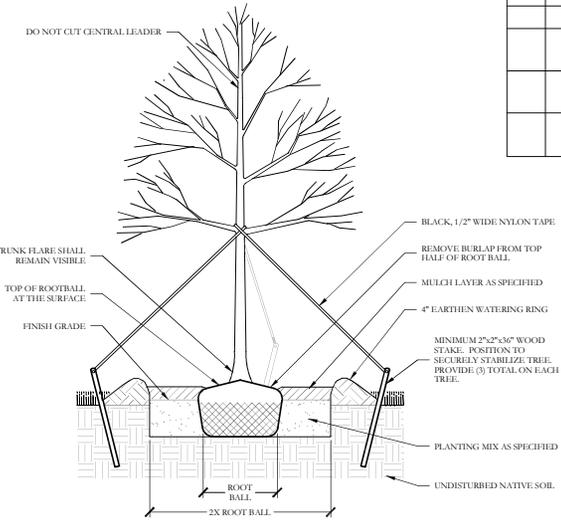
OWNER / DEVELOPER:
 HINES
 2200 ROSS AVENUE, SUITE 4200
 DALLAS, TEXAS 75201
 CONTACT: JOSE CAMPOS
 PH. (214) 882-1750

LANDSCAPE ARCHITECT:
 CODY JOHNSON STUDIO, LLC
 9720 COIT ROAD, SUITE 220-333
 PLANO, TEXAS 75025
 PH. (972) 570-0162
 CONTACT: CODY JOHNSON, RLA, ASLA, LI
 EMAIL: CODY@CODYJOHNSONSTUDIO.COM

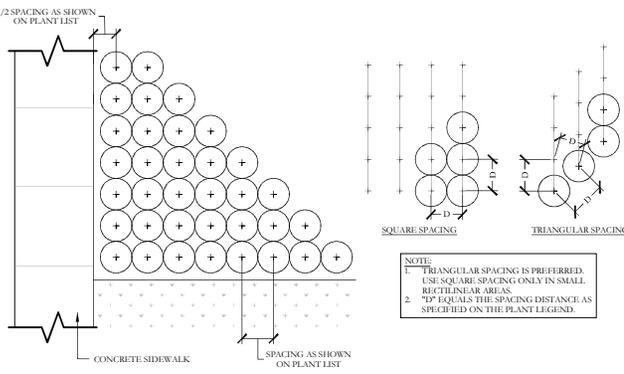
NOTE: FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.



1 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

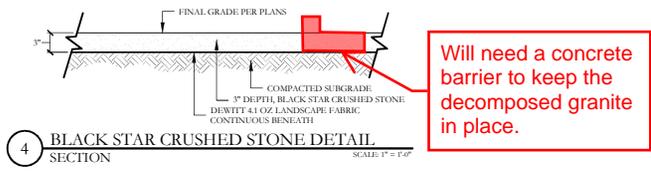


2 TYPICAL TREE PLANTING SECTION NOT TO SCALE

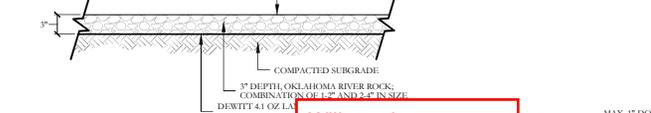


3 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	10	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	9	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	6	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
CM	8	CRAPE MYRTLE 'NATCHEZ'	LAGARSTROEMIA INDICA 'NATCHEZ'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	38	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	44	SUNSHINE LIGSTRUM	LIGSTRUM SINENSE 'SUNSHINE'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	85	GULF MUILLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	240	WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	135	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	17,45	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN.
	180	BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 40 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	3/4" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 4/1,2.
	220	TEXAS RIVER ROCK MIXTURE OF	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 40 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 2" AND 2-1/2" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 5/1,2.
	5	OKLAHOMA MOSS ROCK BOULDERS	50 LB TO 250 LB MAX SIZE	TON	AS SHOWN	FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECTS APPROVAL BEFORE PROCEEDING WITH WORK. REFER TO DETAIL 1/1,2.



4 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 6"



5 OKLAHOMA RIVER ROCK BED DETAIL SECTION

GENERAL LANDSCAPE NOTES

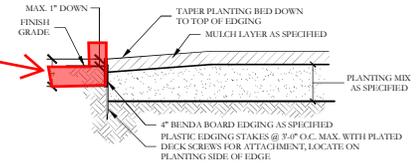
- INSPECTIONS:**
1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT—CONTACT THE PUBLIC WORKS DEPARTMENT.
 2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND INSURANCE OR A CERTIFICATE OF OCCUPANCY.
 4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 3. A MINIMUM THREE FEET (3) RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (6') MINIMUM FROM THE WATER METER.
 5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z603-2006) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 7. A 2'-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 8. TREE PITS SHALL BE TESTED FOR WATER PULPATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24 HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 9. ALL BIDS TO HAVE: 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 10. ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

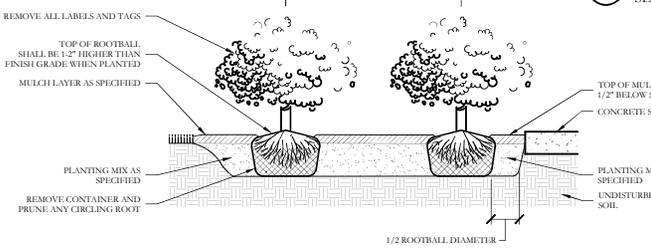
- IRRIGATION STANDARDS:**
1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 2. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 5. IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 6. VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 7. THE MORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (7') OF CLEARANCE (MINIMUM).
 8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BELL-HEADS A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (6") TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND INSPECTED BY DEVELOPMENT SERVICES.
 4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 7. GRADE CHANGES IN EXCESS OF 3 INCHES CUT OR FILL SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 8. NO TRENCING SHALL BE ALLOWED WITHIN THE DRIP LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULLED OFF-SITE.
 10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



6 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



NOT TO SCALE

LANDSCAPE DETAIL
SADDLE STAR ESTATES
SOUTH PHASE TWO A
LOT CA-4
~AMENITY CENTER~
BEING 0.782 ACERS SITUATED IN THE
P.B. HARRISON SURVEY, A-97
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER:
HINES
2200 ROSS AVENUE, SUITE 4200
DALLAS, TEXAS 75201
CONTACT: JOSE CAMPOS
PH. (214) 882-1750

LANDSCAPE ARCHITECT:
CODY JOHNSON STUDIO, LLC
9720 COIT ROAD, SUITE 220-333
PLANO, TEXAS 75025
PH. (903) 570-0162
CONTACT: CODY JOHNSON, RLA, AIA, LI
EMAIL: CODY@CODYJOHNSONSTUDIO.COM



10/17, 2020

SUBMITTAL DATE: June 19, 2020 152 of 2

CITY PROJECT NO.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address TBD

Subdivision Saddle Star Estates Phase IIA Lot CA-4 Block TBD

General Location Intersection of Roys Drive and Randas Way

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	<u>PD-79</u>	Current Use	<u>Open Space</u>		
Proposed Zoning	<u>Same</u>	Proposed Use	<u>Open Space / Amenity Center</u>		
Acreage	<u>0.782</u>	Lots [Current]	<u>1</u>	Lots [Proposed]	<u>1</u>

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Hines</u>	<input checked="" type="checkbox"/> Applicant	<u>Cody Johnson Studio, LLC</u>
Contact Person	<u>Jose Campos</u>	Contact Person	<u>Cody Johnson</u>
Address	<u>2200 Ross Ave.</u> <u>Suite 4200</u>	Address	<u>9720 Coit Road</u> <u>Suite 220-333</u>
City, State & Zip	<u>Dallas, TX 75201</u>	City, State & Zip	<u>Plano, TX 75025</u>
Phone	<u>214-882-1750</u>	Phone	<u>903-570-0162</u>
E-Mail	<u>jose.campos@hines.com</u>	E-Mail	<u>cody@codyjohnsonstudio.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jay [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 9th day of JULY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 9th day of JULY, 2020.

Owner's Signature

Jay

Notary Public in and for the State of Texas

Lisset Cervantes



My Commission Expires

2/19/2024



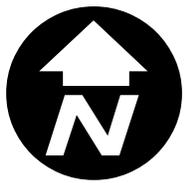
SP2020-012 - SADDLE STAR EST. AMENITY CTR
SITE PLAN - LOCATION MAP = 

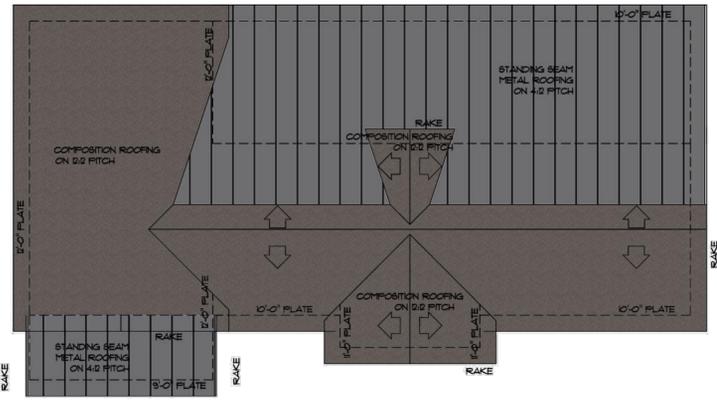


City of Rockwall

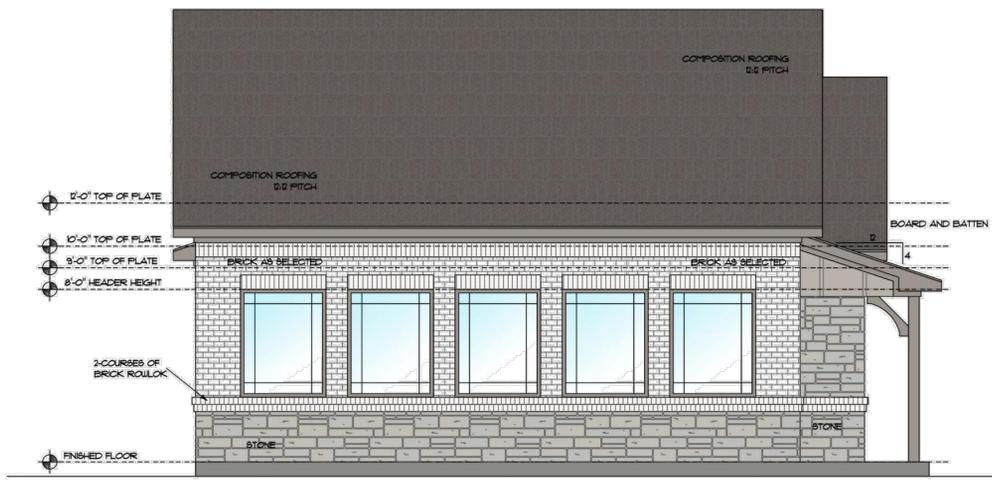
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



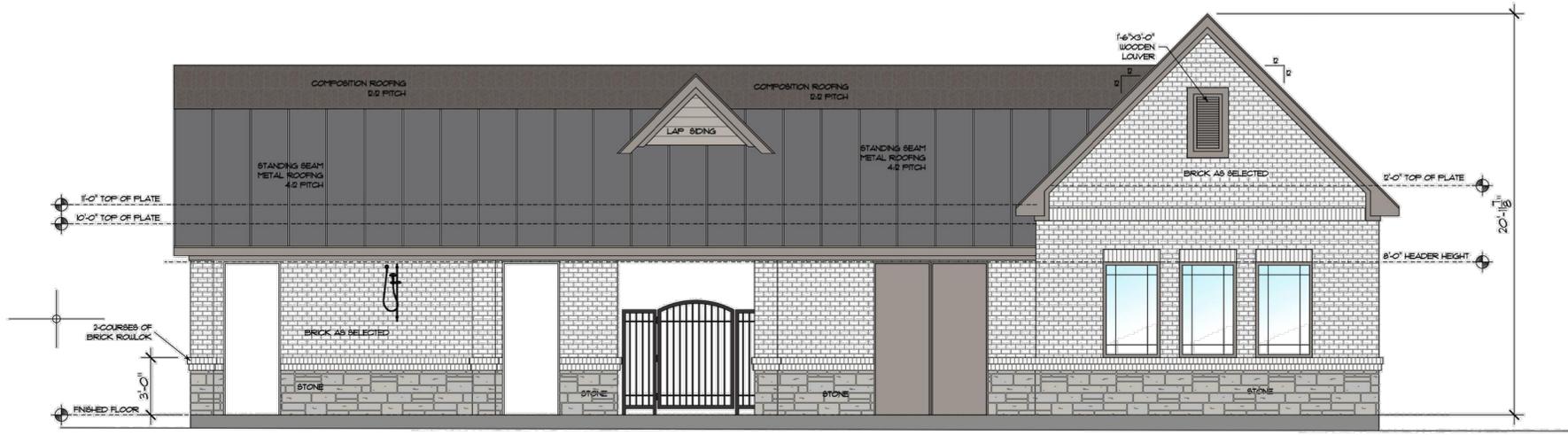


ROOF PLAN
 ROOFING MATERIAL AS SPECIFIED
 DOOR GUTTERED
 SCALE 1/8"=1'0"



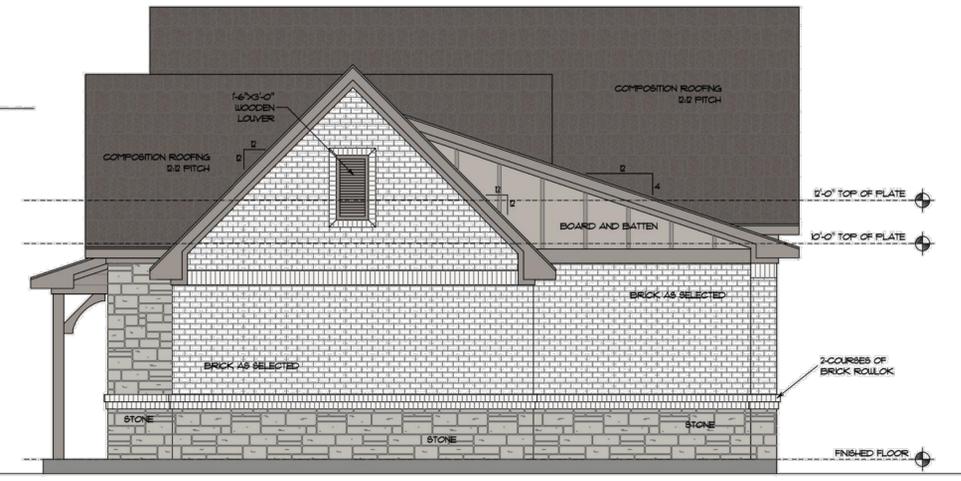
RIGHT ELEVATION
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	222 SQ. FT. 10.0%
STONE	87 SQ. FT. 21.5%
SIDING	8 SQ. FT. 2.5%
NET TOTAL	317 SQ. FT. 100%



REAR ELEVATION
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	336 SQ. FT. 11.3%
STONE	90 SQ. FT. 20.6%
SIDING	9 SQ. FT. 2.1%
NET TOTAL	435 SQ. FT. 100%



LEFT ELEVATION
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	263 SQ. FT. 67.5%
STONE	91 SQ. FT. 23.3%
SIDING	36 SQ. FT. 9.2%
NET TOTAL	390 SQ. FT. 100%



FRONT ELEVATION
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	374 SQ. FT. 10.5%
STONE	57 SQ. FT. 29.5%
NET TOTAL	531 SQ. FT. 100%

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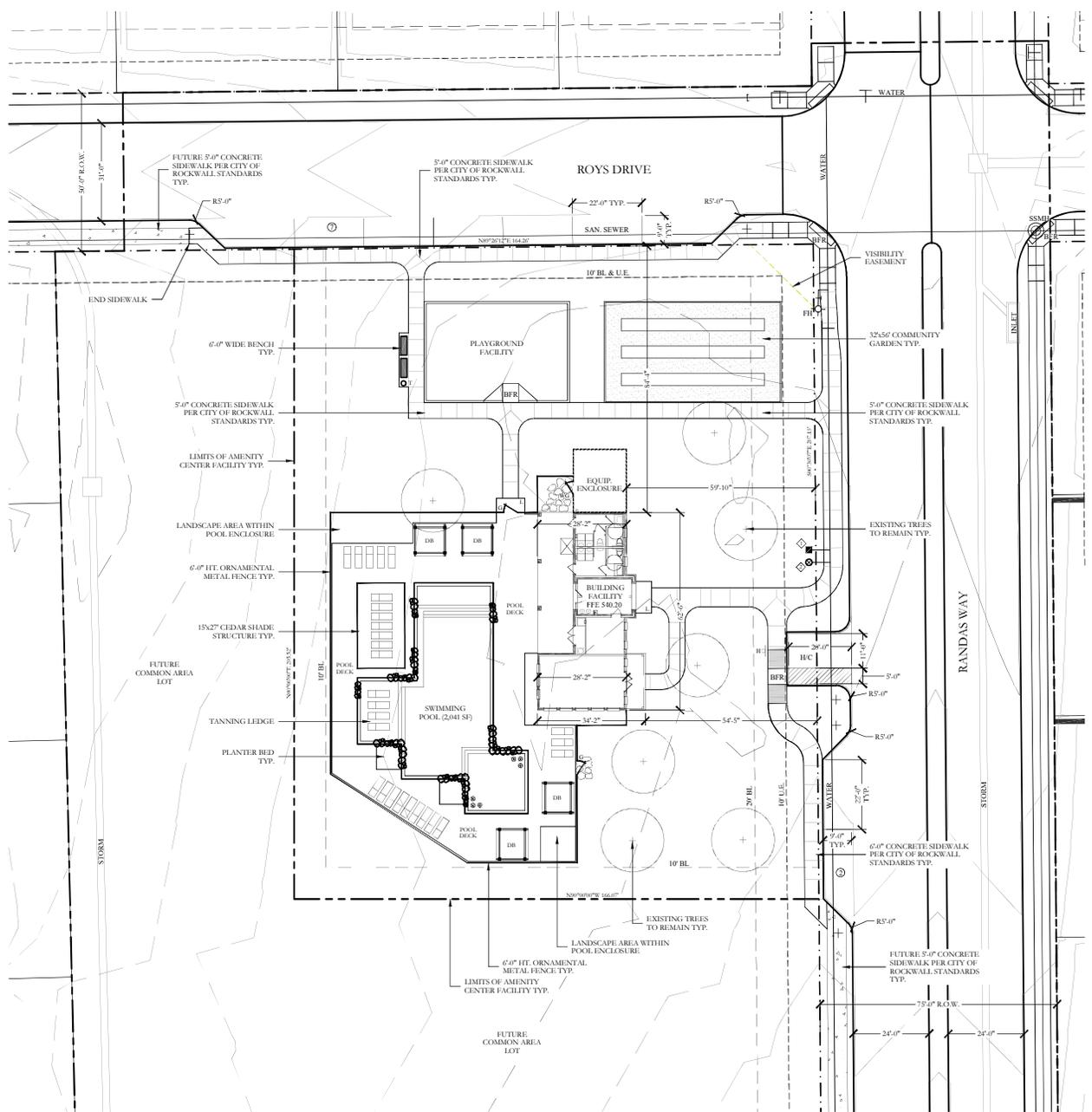
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BUILDING ELEVATIONS
SADDLE STAR ESTATES
SOUTH PHASE TWO A
LOT CA-4
~AMENITY CENTER~

BEING 0.782 ACERS SITUATED IN THE P.B.
 HARRISON SURVEY, A-97
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: April 17, 2020

CITY PROJECT NO. TBD



LEGEND

- PROPOSED PARKING COUNT
- BFR BARRIER FREE RAMP
- H/C HANDICAP PARKING SPACE VAN ACCESSIBLE
- ⊕ FH EXISTING FIRE HYDRANT
- ⊙ SSMH EXISTING SANITARY SEWER MANHOLE
- +— EXISTING WATER MAIN W/ VALVE
- S—S— EXISTING SANITARY SEWER
- +— EXISTING STORM
- C—C— EXISTING CURB INLET
- +— RIGHT-OF-WAY
- 75— EXISTING CONTOUR INTERVAL
- FFE 540.20 FINISHED FLOOR ELEVATION
- ⊕ PROPOSED DOMESTIC WATER METER
- ⊙ PROPOSED IRRIGATION WATER METER
- ⊕ 6'-0" HT. ORNAMENTAL METAL FENCE AS POOL FACILITY ENCLOSURE
- ⊕ 6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRAM TOTE ENCLOSURE
- WG 7 1'-6" WIDTH SELF LATCHING SELF CLOSING WOODEN GATE
- G 7 1'-6" WIDTH SELF LATCHING SELF CLOSING METAL GATE
- L 5'-0" SIDEWALK PASSING LANE AND/OR RAMP LANDING
- H -S- HANDICAP PARKING SIGN
- DB 10'-0" CEDAR DAYBED
- ⊕ 6'-0" PARK BENCH
- ⊕ TRASH RECEPTACLE

LOT CA-4 SITE INFORMATION

ZONING PD-79
 PROPOSED USE PRIVATE RECREATION CENTER
 LAND AREA 34,078.00 S.F. OR 0.782 ACRES
 BUILDING AREA 1,909.00 SF
 BUILDING HEIGHT 21'-0" (1 STORY)
 FLOOR TO AREA 0.006571 (1,909/34,078)
 LOT COVERAGE 0.056%
 PARKING REQUIRED 10 SPACES
 PARKING PROVIDED 10 TOTAL (WITH 1 HANDICAP)
 HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS
 PROPOSED IMPERVIOUS COVERAGE 11,515.50 SF
 PROPOSED IMPERVIOUS RATIO 0.3379 OR 33.79%

SITE PLAN NOTES

- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- FOR ALL BARRIER FREE RAMP NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AREA.
- STANDARD PARALLEL PARKING SPACES SHALL BE A MINIMUM OF 9'-0" WIDTH x 20'-0" LENGTH.
- ALL PARKING SPACES SHALL BE EXISTING AND ARE PROPOSED FOR CITY REVIEW UNDER THE PHASE TWO DEVELOPMENT PLANS.
- THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

WATER METER SCHEDULE

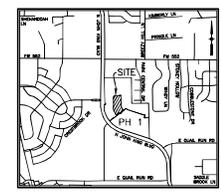
METER NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN SERVICE SIZE
⊕	1.5"	1.5"	X		2"
⊕	1.5"	1.5"		X	

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

 Planning & Zoning Commission, Chairman Director of Planning and Zoning



LOCATION MAP
NOT TO SCALE

**SITE PLAN
 SADDLE STAR ESTATES
 SOUTH PHASE TWO A
 LOT CA-4
 ~AMENITY CENTER~**

BEING 0.782 ACERS SITUATED IN THE P.B. HARRISON SURVEY, A-97 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

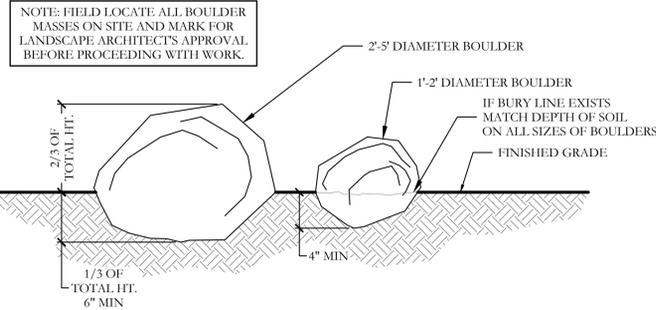
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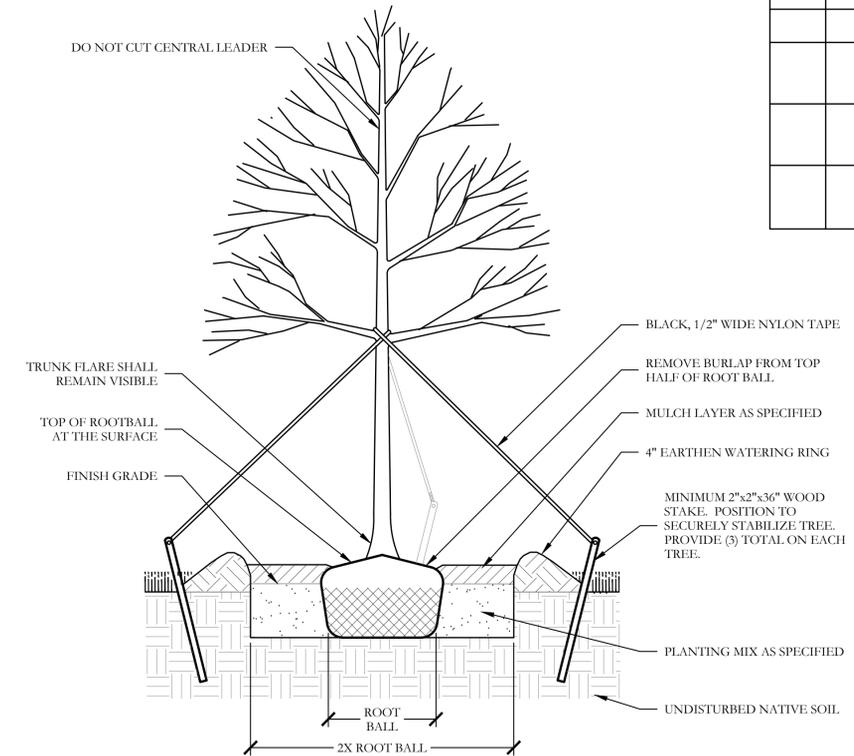


SUBMITTAL DATE: July 17, 2020

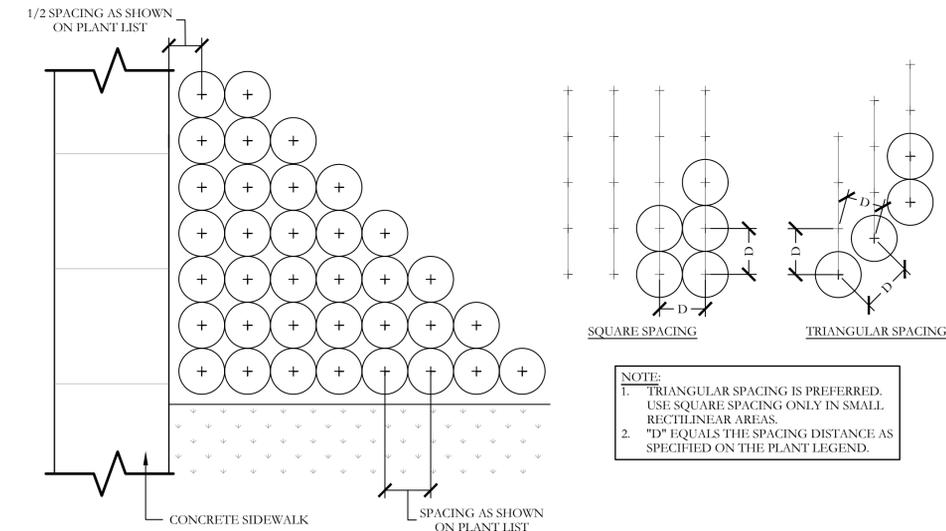
CITY PROJECT NO.



1 LANDSCAPE BOULDER DETAIL SECTION
NOT TO SCALE

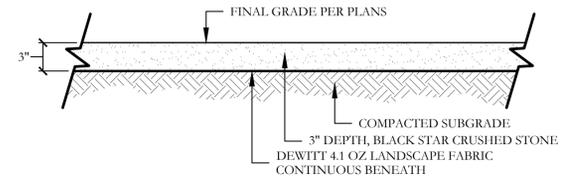


2 TYPICAL TREE PLANTING SECTION
NOT TO SCALE

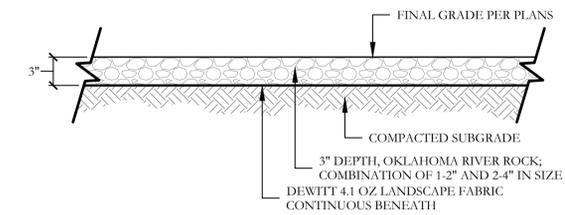


3 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION

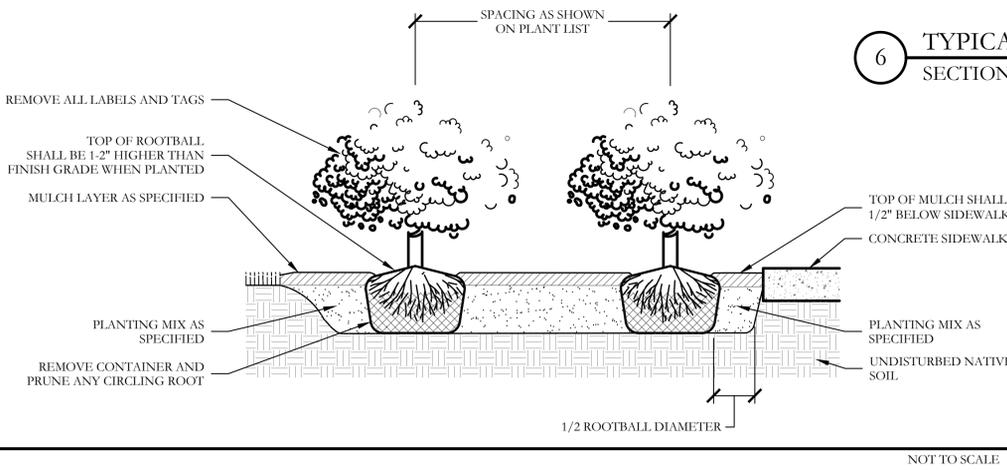
PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	10	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	9	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	6	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
CM	8	CRAPE MYRTLE 'NATCHEZ'	LAGERSTROEMIA INDICA 'NATCHEZ'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	38	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	44	SUNSHINE LIGISTRUM	LIGISTRUM SINENSE 'SUNSHINE'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	85	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	240	WEeping LOVE GRASS	ERAGROSIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	135	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	17,745	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	180	BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.0 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	3/4" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 4/L/2.
	220	TEXAS RIVER ROCK; MIXTURE OF	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.0 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" AND 2-4" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 5/L/2.
	5	OKLAHOMA MOSS ROCK BOULDERS	50 LB TO 250 LB MAX SIZE	TON	AS SHOWN	FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK. REFER TO DETAIL 1/L/2.



4 BLACK STAR CRUSHED STONE DETAIL SECTION
SCALE: 1" = 1'-0"



5 OKLAHOMA RIVER ROCK BED SECTION
SCALE: 1" = 1'-0"



6 TYPICAL BED EDGING DETAIL SECTION
NOT TO SCALE

GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3) RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10) MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4) MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3) FEET AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2) FEET OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5) SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRoACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - STEE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR Hauled OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

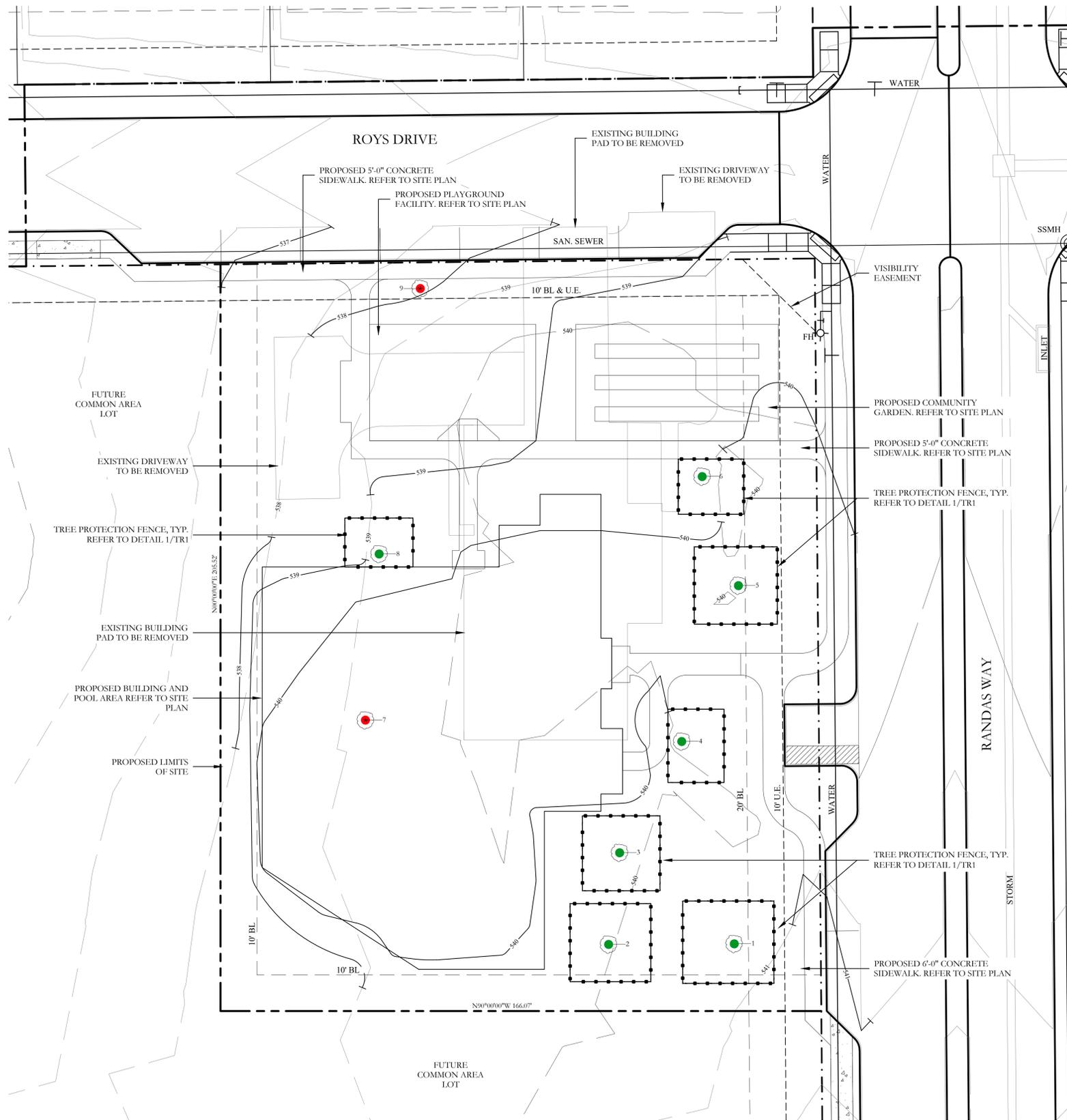
**LANDSCAPE DETAIL
SADDLE STAR ESTATES
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BEING 0.782 ACERS SITUATED IN THE P.B. HARRISON SURVEY, A-97 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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PH. (903) 570-0162
CONTACT: CODY JOHNSON, RLA, ASLA, LI
EMAIL: CODY@CODYJOHNSONSTUDIO.COM





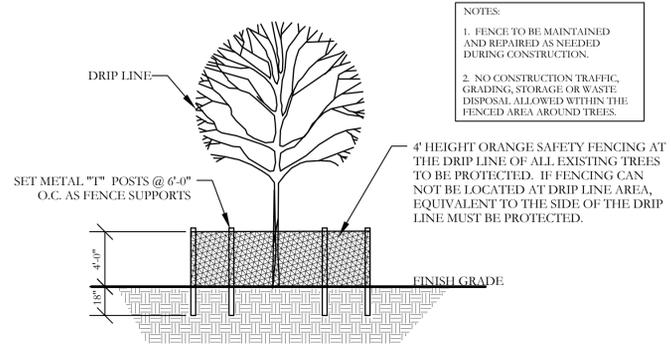
LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN. TYP.

Tree ID Number	Tree Size DBH	Common Name	Scientific Name	Condition of Tree	Remove or Remain	Tree Location	Credit Ratio	Negative Mitigation Credit	Positive Mitigation Credit
1	15.0	Pecan	<i>Carya illinoensis</i>	Healthy	Remain	Lot	1	0.00	15.00
2	12.0	Pear	<i>Pyrus calleryana</i>	Healthy	Remain	Lot	1	0.00	12.00
3	10.0	Pin Oak	<i>Quercus palustris</i>	Healthy	Remain	Lot	1	0.00	10.00
4	18.0	Chinese Tallow	<i>Tnaocia sebifera</i>	Healthy	Remain	Lot	1	0.00	18.00
5	20.0	Live Oak	<i>Quercus virginiana</i>	Healthy	Remain	Lot	1	0.00	20.00
6	12.0	Magnolia	<i>Magnolia grandiflora</i>	Healthy	Remain	Lot	1	0.00	12.00
7	18.0	Unknown	Unknown	Damaged	Remove	Lot	1	18.00	0.0
8	18.0	Pin Oak	<i>Quercus palustris</i>	Healthy	Remain	Lot	1	0.00	18.00
9	24.0	Pin Oak	<i>Quercus palustris</i>	Damaged	Remove	Easement	0	0.00	0.0
Total Tree Population								147.00	
								Total Negative Mitigation Credits, caliper inches	18.00
								Total Positive Mitigation Credits, caliper inches	105.00
Total Positive Credits (cal. in.)									87.00

- TREE PROTECTION NOTES**
- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
 - DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL, SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
 - NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
 - NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
 - NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.



1 TREE PROTECTION DETAIL NOT TO SCALE

LOT CA-4 SITE INFORMATION

ZONING: PD-79
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 34,078.00 S.F. OR 0.782 ACRES

BUILDING AREA: 1,909.00 SF
 BUILDING HEIGHT: 21'-0" (1 STORY)
 FLOOR TO AREA: 0.00057:1 [1,909/34,078]
 LOT COVERAGE: 0.056%

PARKING REQUIRED: 10 SPACES
 PARKING PROVIDED: 10 TOTAL (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

PROPOSED IMPERVIOUS COVERAGE: 11,515.50 SF
 PROPOSED IMPERVIOUS RATIO: 0.3379 OR 33.79%

TREESCAPE PLAN
SADDLE STAR ESTATES
SOUTH PHASE TWO A
LOT CA-4
~AMENITY CENTER~

BEING 0.782 ACERS SITUATED IN THE P.B. HARRISON SURVEY, A-97 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER:
 HINES
 2200 ROSS AVENUE, SUITE 4200
 DALLAS, TEXAS 75201
 CONTACT: JOSE CAMPOS
 PH. (214) 882-1750

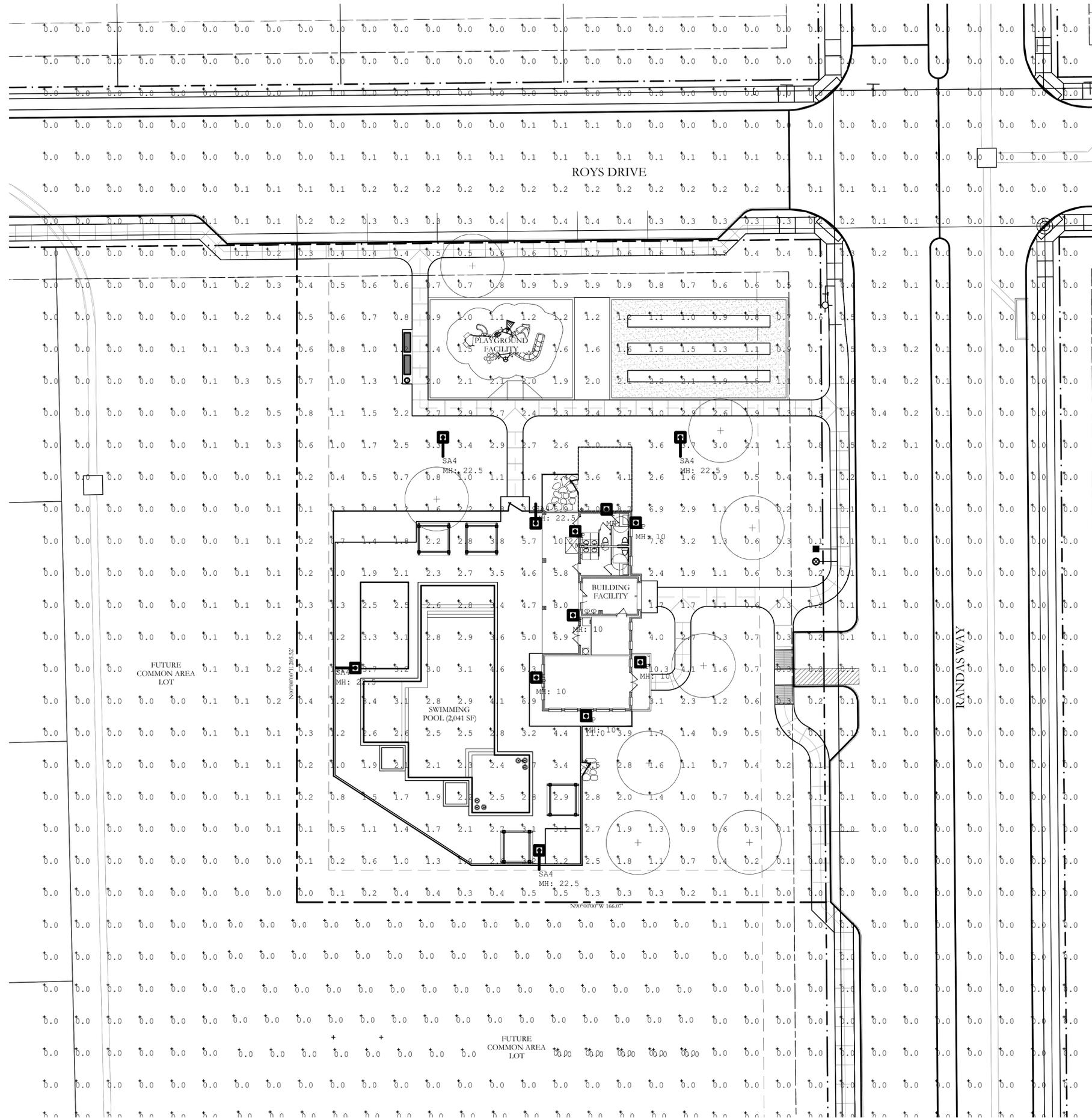
LANDSCAPE ARCHITECT:
 CODY JOHNSON STUDIO, LLC
 9720 COIT ROAD, SUITE 220-333
 PLANO, TEXAS 75025
 PH. (903) 570-0162
 CONTACT: CODY JOHNSON, RLA, ASLA, LI
 EMAIL: CODY@CODYJOHNSONSTUDIO.COM



July 17, 2020

SUBMITTAL DATE: July 17, 2020

CITY PROJECT NO.

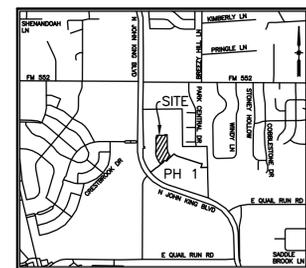


Luminaire Schedule						
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lumens/Lamp
5		SA4	0.900	Gardco - ECF-S-32L-1A-NW-G2-4-HIS	105.6	N.A.
7		WP	0.900	Komee - KMWP-45-40-FC	46.2	4520.8
						4523

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Overall	Illuminance	Fc	0.47	11.0	0.0	N.A.
Lap Pool	Illuminance	Fc	1.71	3.0	0.7	2.44
Pool	Illuminance	Fc	3.18	11.0	0.7	4.54

- NOTES
 1. Calc at grade level
 2. Mounting
 * Type SA = On a 20' pole on a 2.5' base
 Type WM = 10' AFG

ER
 ERVEN ROVINSKY
 AND ASSOCIATES, INC.
 Consulting Engineers
 T.R.E.F. F-2513
 7-7-20
 12250 INWOOD RD STE9
 DALLAS, TEXAS 75244
 972-233-2981
 ERovinsky@aol.com



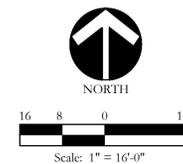
LOCATION MAP
 NOT TO SCALE

PHOTOMETRIC PLAN
 SADDLE STAR ESTATES
 SOUTH PHASE TWO A
 LOT CA-4
 ~AMENITY CENTER~

BEING 0.782 ACERS SITUATED IN THE
 P.B. HARRISON SURVEY, A-97
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER:
 HINES
 2200 ROSS AVENUE, SUITE 4200
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PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/24/2020

PROJECT NUMBER: SP2020-013
PROJECT NAME: Site Plan for 1410 S. Goliad Street
SITE ADDRESS/LOCATIONS: 1410 S GOLIAD ST, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-771-7740
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/22/2020	Approved w/ Comments

07/22/2020: I.1 This case is for the approval of a Site Plan for the amenities center for the Pebblebrook Apartment Complex being a 11.579-acre parcel of land identified as Lot 1, Block A, Pebblebrook Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, and addressed as 1410 S. Goliad Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2020-013) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 03.04(A), Art. 11, UDC)

M.4 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the Planning and Zoning Commission (Subsection 03.04, Art. 11, UDC):

- 1) Provide a physical material sample board that details all building materials (Subsection 03.04(A), Art. 11, UDC).
- 2) Include the standard signature block with signature space for the Planning & Zoning Chairman and Planning Director (Subsection 03.04. A, Art. 11, UDC).
- 3) Indicate the location and total square footage of all existing and planned buildings on the site (Subsection 03.04. B, Art. 11, UDC).
- 4) Indicate the wall lengths of all buildings on the site (Subsection 03.04. B, Art. 11, UDC).
- 5) Indicate the distance between the building and the property line adjacent to S. Goliad Street [SH-205] (Subsection 03.04. B, Art. 11, UDC).
- 6) Indicate all building setbacks adjacent to S. Goliad Street [SH-205] (Subsection 03.04. B, Art. 11, UDC).
- 7) Indicate the existing fire lane easements and any other applicable easements on the property. Additionally, indicate all utilities both existing and proposed (Subsection 03.04. B, Art. 11, UDC).
- 8) Indicate and label the widths of all existing and/or proposed sidewalks (Subsection 03.04. B, Art. 11, UDC).
- 9) Label S. Goliad Street [SH-205] (Subsection 03.04. B, Art. 11, UDC).
- 10) Indicate the street centerline of S. Goliad Street [SH-205] (Subsection 03.04. B, Art. 11, UDC).
- 11) Indicate the dimensions of a typical parking space (i.e. 9' x 20') (Subsection 05.03, Art. 06, UDC).
- 12) Indicate the total existing parking spaces onsite, the total required parking, and the parking spaces required by the addition (Subsection 05.01, Art. 06, UDC).
- 13) Indicate the handicap parking spaces (Subsection 05.04, Art.06, UDC).
- 14) Any proposed pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure (Subsection 01.05. C, Art.05, UDC).
- 15) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction (Subsection 01.05. C, Art. 05, UDC).

M.5 Is the pavilion shown on the site plan being constructed with the proposed expansion of the clubhouse? If so, please provide elevations showing the pavilion.

M.6 If any trees are to be removed during the project then a Treescape Plan must be submitted by August 4th. The Treescape Plan shall show any required mitigation and how that mitigation balance will be satisfied (Subsection 03.02, Art.09, UDC).

I.6 All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof (Subsection 06.02. C (2), Art. 05, UDC). In addition, all structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides (Subsection 04.01. A (1) Art. 05, UDC).

I.7 The color of all windows shall be reviewed by the Architectural Review Board (ARB), and shall have a maximum visible exterior reflectivity of 20% (Subsection 06.02. C (6), Art. 05, UDC).

M.8 The Unified Development Code (UDC), states that “(t)he expansion of a non-residential building or structure that increases the existing the existing floor area by 30% or that adds 2,000 SF of floor area.” Please provide a landscape plan showing conformance to the requirements (Art. 08, UDC).

I.9 Based on the submittal staff has identified the following exception to the Unified Development Code (UDC):

1) Roof Design Standards. The proposed roof does not meet the roof design standards for commercial districts established by the UDC. The new pitched roof is indicated to be 3:12, where the minimum is 6:12 is required. This will require approval of an exception by the Planning and Zoning Commission (Subsection 04.01. A (1) Art. 05, UDC).

NOTE: If requesting an exception, the proposed project will need to go to Work Session.

To be able to request a variance, an applicant needs to provide a letter stating the justification for each exception requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the requested exception. Please also note that all of the requested exceptions will require a three-quarter majority vote for approval. Refer to Subsection 9.01, Exceptions to the General Standards, of Article 11, Development Applications and Review Procedures, of the UDC for examples of compensatory measures.

- Please provided a letter of explanation for the associated exception (i.e. there has been one (1) exception identified by staff) and the compensatory measures (i.e. two (2) compensatory measures required) justifying these exceptions as required by the UDC for consideration.

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on August 4, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 4, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 11, 2020 Architectural Review Board (ARB) (or Planning and Zoning Commission -- if necessary) Regular Meeting.

I.12 The Architectural Review Board (ARB) meeting will be held on July 28, 2020 and will begin at 5:00 p.m. in the City’s Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on July 28, 2020 (if required).
- 2) Architectural Review Board (ARB) meeting will be held on July 28, 2020.
- 3) Planning & Zoning regular meeting/public hearing meeting will be held on August 11, 2020 (if required).
- 4) Architectural Review Board (ARB) meeting will be held on August 11, 2020 (if required).

I.14 All meetings will be held in person and in the City’s Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. It is mandatory that a representative(s) be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/23/2020	Approved w/ Comments

07/23/2020: I - New parking to be 20'x9' min.
 I - Retaining walls 6" and over must be rock or stone faced.
 I - Retaining walls 3' and over must be engineered.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/23/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2020	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: 1410 S. GOLZAD ST. ROCKWALL, TX 75087
 Subdivision: PEBBLE BROOK Lot 1 Block A
 General Location: ON S. GOLZAD BETWEEN E. YELLOW JACKET LN AND DAMASCUS RD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: RESIDENTIAL Current Use: MULTI-FAMILY
 Proposed Zoning: RESIDENTIAL Proposed Use: _____
 Acreage: 12 Lots [Current]: 20773 Lots [Proposed]: 20773

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>WDC PEBBLE BROOK APARTMENTS</u>	<input type="checkbox"/> Applicant	<u>CAMP CONSTRUCTION SERVICES</u>
Contact Person	<u>YAO WANG</u>	Contact Person	<u>LEE HOFFMAN</u>
Address	<u>8750 N. CENTRAL EXPRESSWAY</u> <u>SUITE 1010</u>	Address	<u>5243 BEAR CREEK CT.</u>
City, State & Zip	<u>DALLAS, TX 75231</u>	City, State & Zip	<u>IRVING, TX 75061</u>
Phone	<u>214-522-1310</u>	Phone	<u>972-790-8800</u>
E-Mail	<u>YWANG@Valiantenterprises.com</u>	E-Mail	<u>LHOFFMAN@CAMPCONSTRUCTION.COM</u>

NOTARY VERIFICATION [REQUIRED]

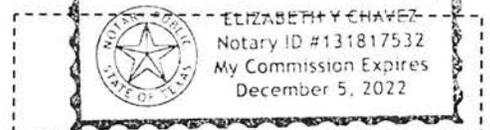
Before me, the undersigned authority, on this day personally appeared LEE HOFFMAN [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of JULY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

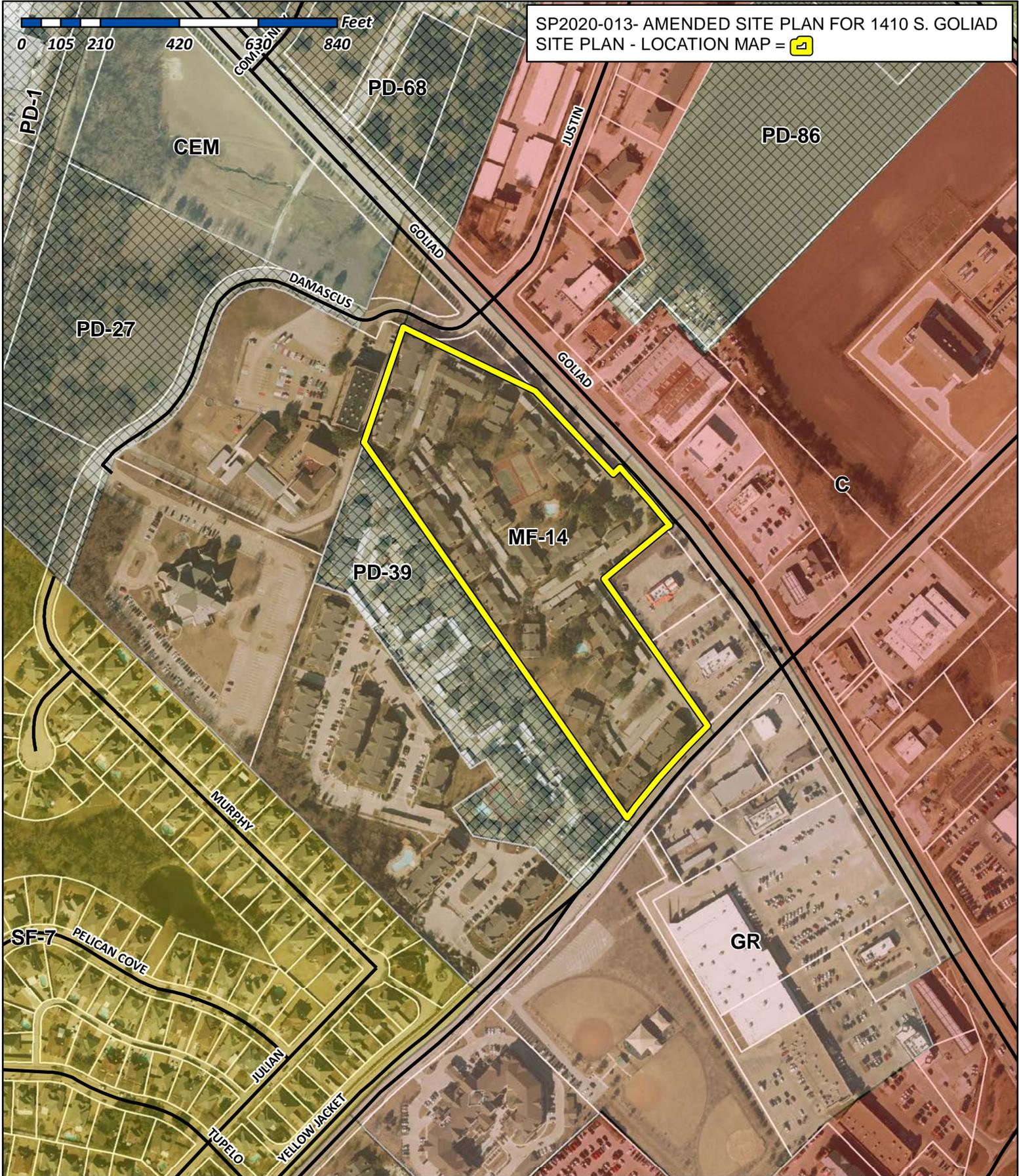
Given under my hand and seal of office on this the 16 day of JULY, 2020.

Owner's Signature _____

Notary Public in and for the State of Texas _____



My Commission Expires 12-05-2022



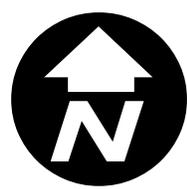
SP2020-013- AMENDED SITE PLAN FOR 1410 S. GOLIAD
 SITE PLAN - LOCATION MAP = [icon]

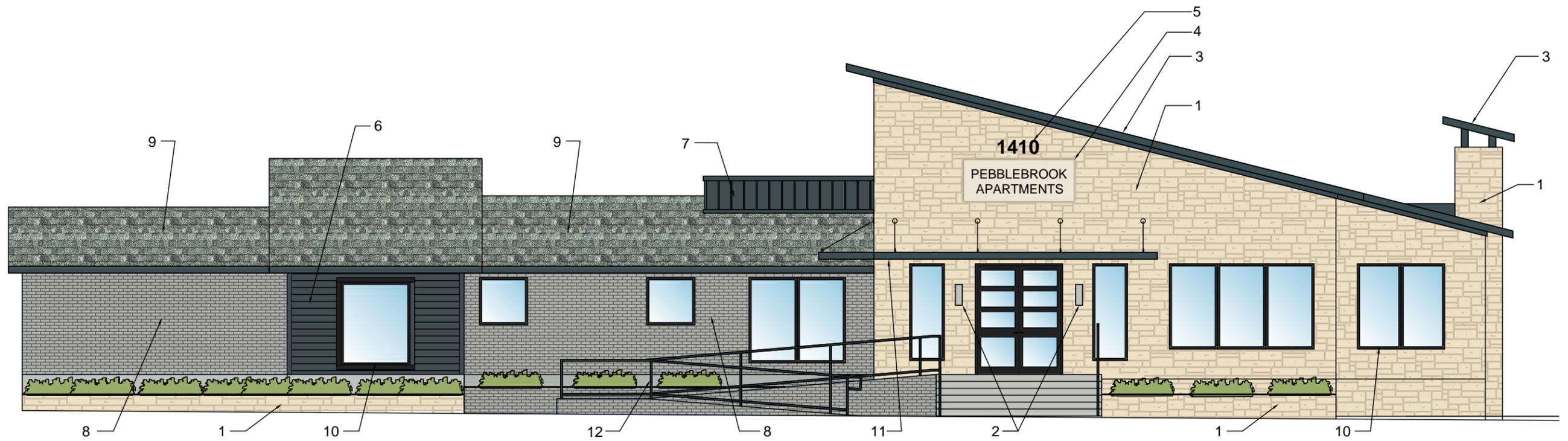


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





FRONT ELEVATION
SCALE: 1/8" = 1'-0"



1
LUEDER LIMESTONE SONOMA WHITE



4
SIGN: MODERN HOUSE NUMBERS 8" AUSTIN MATTE BLACK LETTERS ON 3'x8' LIMESTONE SLAB



8
EXISTING AND NEW PAINTED BRICK, SW 6234 UNCERTAIN GRAY (FIELD VERIFY COLOR)

11
CUSTOM STEEL CANOPY, ALL PAINTED CHARCOAL GRAY COLOR SAME AS STANDING SEAM METAL ROOF



2
OUTDOOR WALL SCNCE
20033LEDMG-SAT/FST BAYSIDE

5
SIGN: MODERN HOUSE NUMBERS 12" AUSTIN MATTE BLACK OFF SET NUMBER ON LIMESTONE WALL



6
JAMES HARDIE 6" HARDIE PLANK CEDARMILL HORIZONTAL SIDING, IRON GRAY



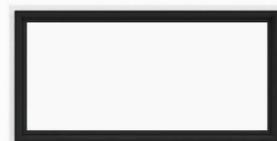
9
EXISTING COMPOSITE SHINGLE, GRAY



3
STANDING SEAM METAL ROOF
MBCI SIGNATURE 200 CHARCOAL GRAY COLOR



7
JAMES HARDIE BOARD AND BATTEN @ 12" VERTICAL SIDING, IRON GRAY (ALL VERTICAL SIDING)



10
ALUMINUM THERMALLY BROKEN INSULATED GLASS W/ LOW-E WINDOWS, DARK BRONZE ANODIZED, REFER TO ENERGY REPORT FOR U-VALUE

APPLICANT INFORMATION

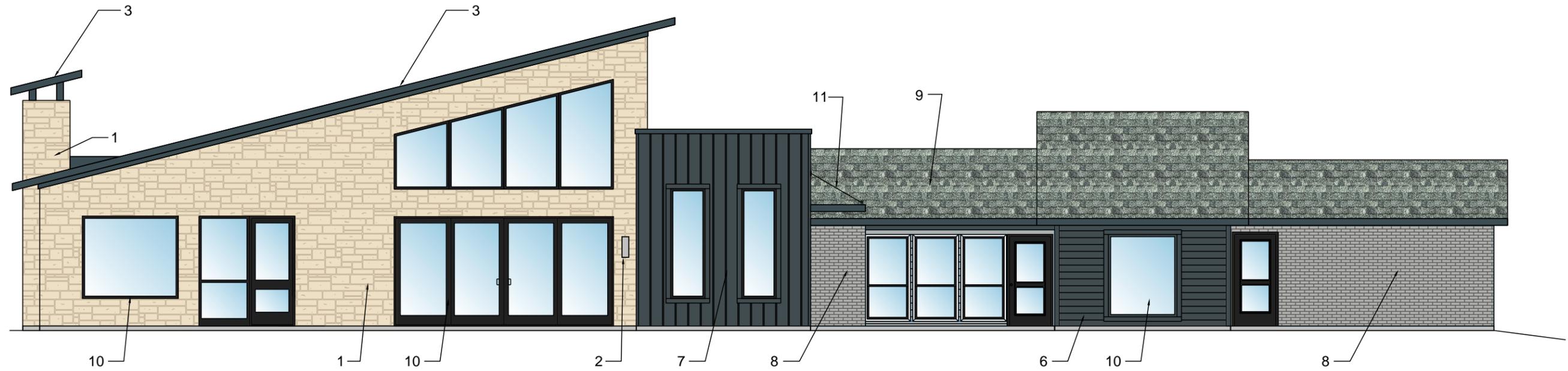
LEE HOFFMAN
CAMP CONSTRUCTION SERVICES
5243 BEAR CREEK COURT
IRVING, TX 75061
#214-535-5845
LHOFFMAN@CAMPCONSTRUCTION.COM

OWNER REP. INFORMATION

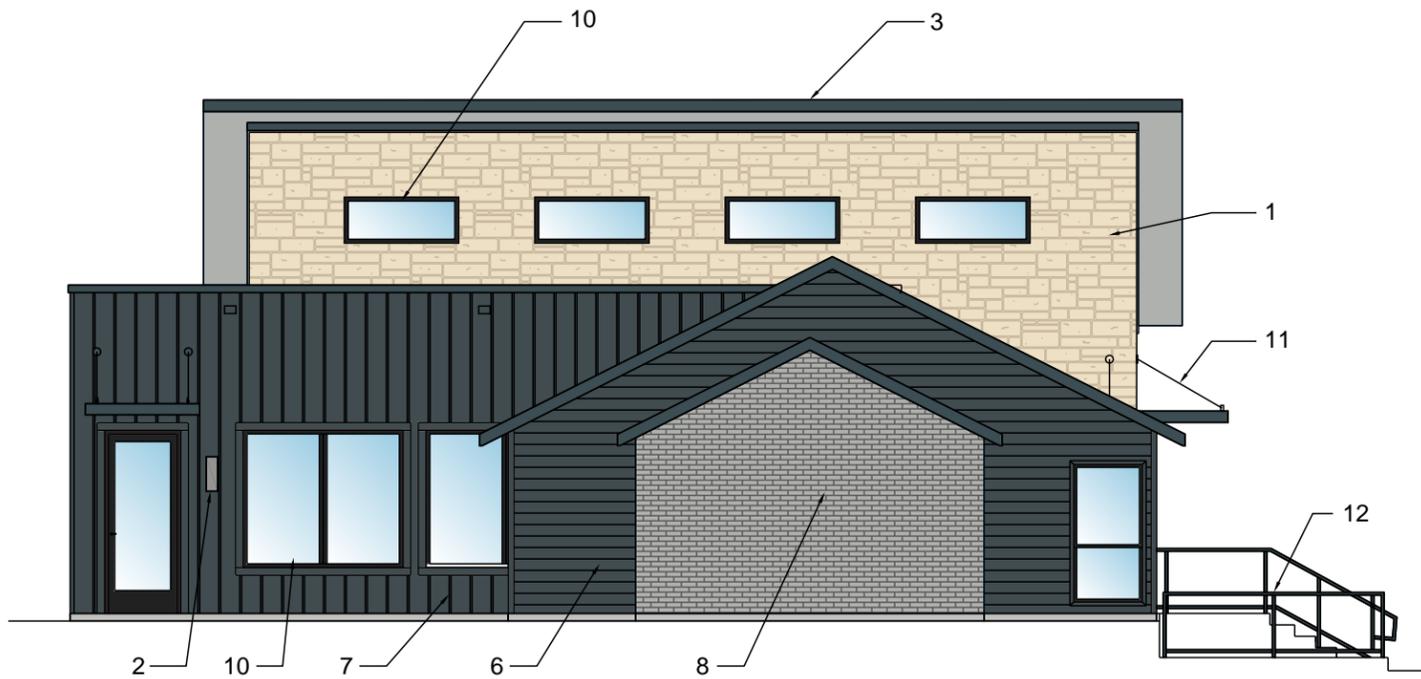
YAO WANG
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8750 N CENTRAL EXPY. SUITE 1010
DALLAS, TX 75231
#214-522-1310
YWANG@VALIANTENTERPRISES.COM

**PEBBLEBROOK APARTMENTS
LEASING OFFICE REMODEL**

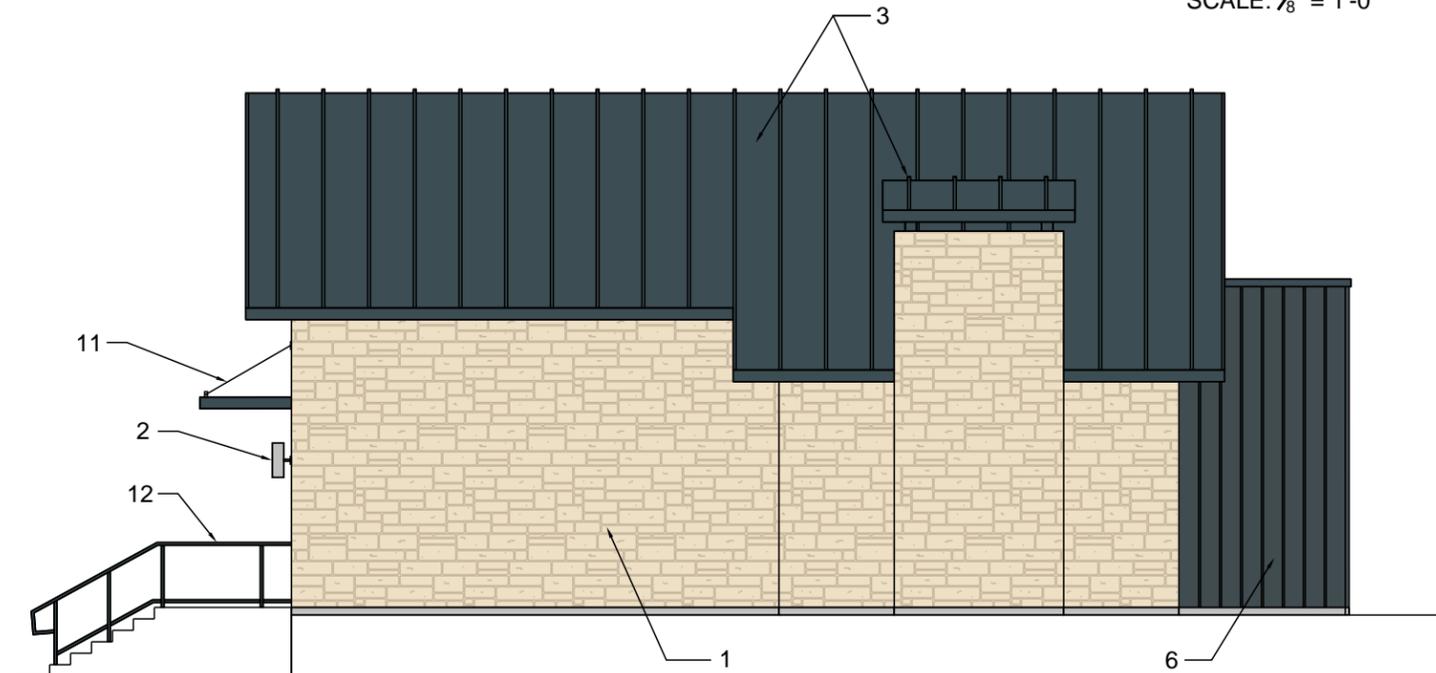
BLD2019-2886



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

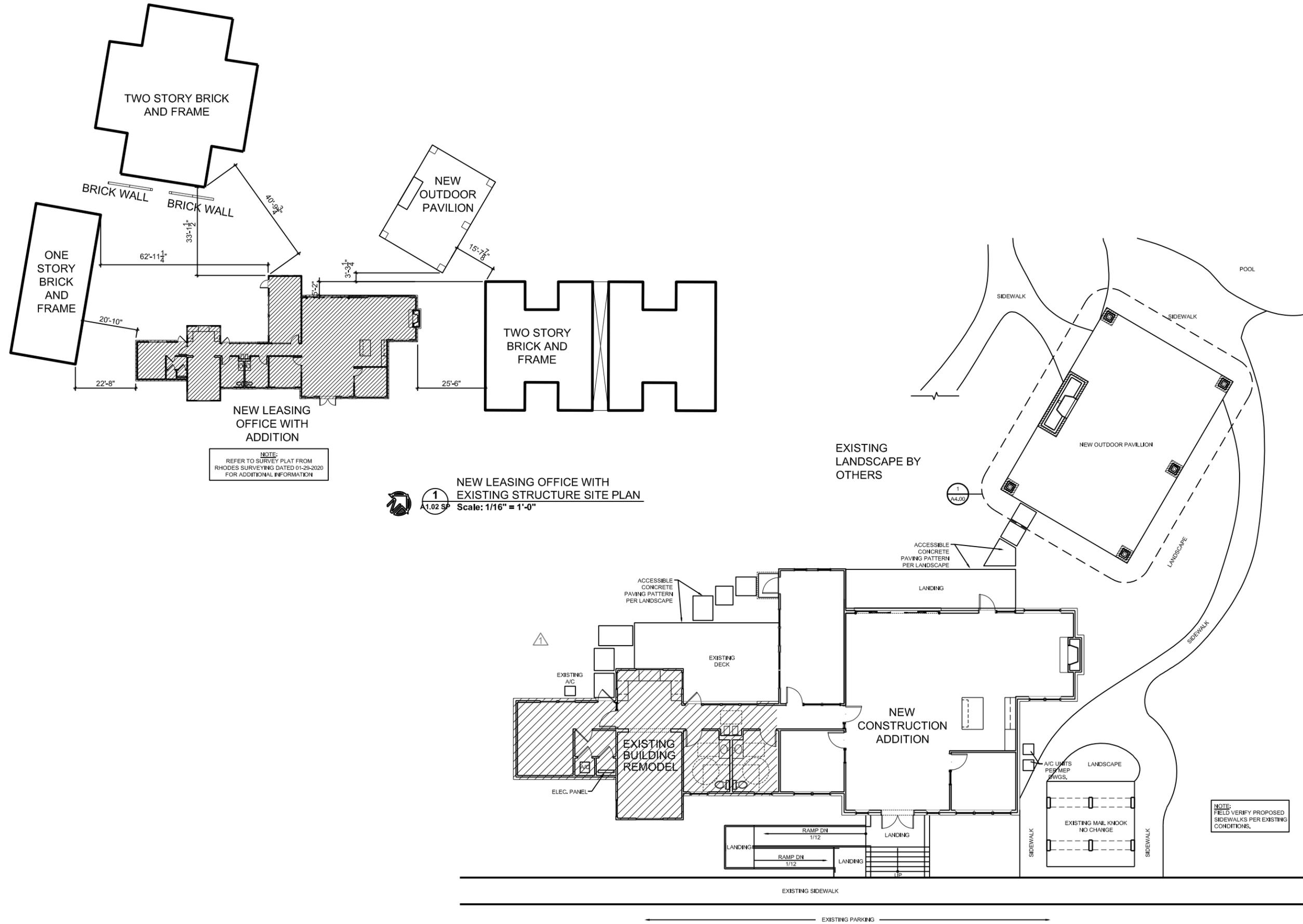
APPLICANT INFORMATION
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 VALIANT ENTERPRISES
 8750 N CENTRAL EXPY. SUITE 1010
 DALLAS, TX 75231
 #214-522-1310
 YWANG@VALIANTENTERPRISES.COM

**PEBBLEBROOK APARTMENTS
 LEASING OFFICE REMODEL**

BLD2019-2886

CD FOR PERMIT & CONSTRUCTION : R02 / 06-16-2020



NOTE:
REFER TO SURVEY PLAT FROM
RHODES SURVEYING DATED 01-29-2020
FOR ADDITIONAL INFORMATION

1
A1.02 SP **NEW LEASING OFFICE WITH
EXISTING STRUCTURE SITE PLAN**
Scale: 1/16" = 1'-0"

NOTE:
FIELD VERIFY PROPOSED
SIDEWALKS PER EXISTING
CONDITIONS.

1701 North Collins Blvd.
Suite 3000
Richardson, TX 75080
Office: 214-451-6630
Fax: 214-451-6631
Inspections: 214-451-6632
www.childress.com

CHILDRESS
ARCHITECTURAL GROUP



PEBBLEBROOK APARTMENTS
LEASING OFFICE REMODEL
ROCKWALL, TEXAS 75088

ARCHITECTURAL SITE PLAN

PROJECT ADDRESS: 1410 S GOLIAD ST, ROCKWALL, TX 75088

PROJECT NUMBER:	
PERMIT DATE:	
REVISIONS:	
DATE:	02-20-20
PER CITY COMMENTS R01	06-16-20
PER CITY COMMENTS R02	
PER CITY COMMENTS R03	
PER CITY COMMENTS R04	
PER CITY COMMENTS R05	
PER CITY COMMENTS R06	
PER CITY COMMENTS R07	
PER CITY COMMENTS R08	
PER CITY COMMENTS R09	
PER CITY COMMENTS R10	

PROJECT MANAGER:	C. CAMPOS
DRAWN BY:	L.J.L.
CHECKED BY:	C. CAMPOS
DATE:	05/14/2019
SCALE:	AS NOTED

1
A1.02 SP **ARCHITECTURAL SITE PLAN**
Scale: 1/8" = 1'-0"

SHEET NUMBER:
A1.02 SP

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/24/2020

PROJECT NUMBER: SP2020-015
PROJECT NAME: Lot 1, Stonebridge Addition
SITE ADDRESS/LOCATIONS: 715 W RUSK ST, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-771-7740
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/22/2020	Approved w/ Comments

07/22/2020: I.1 This request is for the approval of a Site Plan for incidental display in conjunction with retail store with gasoline sales on a 0.483-acre parcel of land identified as a portion of Lot 1 of the Stonebridge Center Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the SH-66 Overlay (SH-66 OV) District, and addressed as 715 W. Rusk Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2020-015) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 03.04.A, Art. 11, UDC)

I.4 Incidental Display is permitted only in areas designated on the Site Plan filed with the City (Subsection 02.03. F(4)(a), Art. 4, UDC).

M.5 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (Subsection 03.04, Art. 11, UDC):

- 1) Identify each proposed and existing use (e.g. gas station/food truck or trailer) (Subsection 03.04. A, Art. 11, UDC).
- 2) Indicate sidewalk width along the existing building. (Subsection 03.04. A, Art. 11, UDC).
- 3) Verify the acreage of the property and provide the square footage of the existing building (Subsection 03.04. B, Art. 11, UDC).
- 4) Indicate and label the widths of all fire lanes existing on the site (Subsection 03.04. B, Art. 11, UDC).
- 5) Indicate the dimensions of a typical parking space per our UDC (i.e. 9' x 20' for head in parking spaces and 9' x 22' for parallel parking spaces) (Subsection 05.03, Art. 06, UDC).
- 6) Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided. (Subsection 05.01, Art. 06, UDC)

M.6 Outdoor sales and display may not exceed five (5) percent of the adjacent building floor area (building area is defined as the entirely enclosed portion of the primary building). Please provide a table showing the square footage of the existing building (excluding the gas canopy), the square footage of the existing ice box and propane cage, and the proposed square footage of the incidental display/sales area (Subsection 02.03. F(4)(b), Art. 04, UDC).

I.7 Outdoor sales and display may occupy up to 30% of a covered sidewalk that is located within 20-feet of the building. Such display shall not impede pedestrian use of the sidewalk and at least a five (5) foot passable distance shall be maintained. If exceeded then an exception will need to be requested (Subsection 02.03. F(4)(c), Art. 04, UDC).

I.9 Any outside sales and display not located on a covered sidewalk must be screened from view of adjacent roadways, public areas and adjacent properties. The current plan is not in compliance with this requirement and if uncorrected an exception will need to be requested (Subsection 02.03. F(4)(d), Art. 04, UDC).

M.10 Any outside sales and display not located on a covered sidewalk must be located immediately adjacent to or connected to the primary structure. The current plan is not in compliance with this requirement and if uncorrected an exception will need to be requested (Subsection 02.03. F(4)(e), Art. 04, UDC).

I.11 No outdoor sales and display may be located in any portion of a parking lot. The current plan is not in compliance with this requirement (i.e. the plan show incidental display

under the gas canopy) and if uncorrected an exception will need to be requested (Subsection 02.03. F(4)(f), Art. 04, UDC). Furthermore, staff is of the opinion that providing incidental display under the gas canopy and in direct conflict with vehicular traffic poses a health and safety risk for the general public.

M.12 The accessory seasonal display of plants and related landscape materials such as fertilizer, peat moss, and ornamental landscape items by a permitted retail use may be displayed upon approval by the building inspector only under the following conditions. If any of the following are not met then a variance will need to be requested. (Subsection 02.03. F(4)(h), Art. 04, UDC):

- (1) The plants and related materials shall be located on an all-weather surface.
- (2) All of the plants and related materials shall be located behind the building line.
- (3) The storage area for display of plants and related materials shall not occupy any required parking spaces. Excess, parking spaces may be used if all other requirements are met.
- (4) The storage area for display of plants shall not occupy more than five (5) percent of the total lot area.

NOTE: The subject property does not appear to have the space to achieve the accessory seasonal display of plants or related landscape materials.

I.13 Based on the submittal staff has identified the following exceptions to the Unified Development Code (UDC):

- 1) Incidental Display Area Standards. The proposed display does not meet the incidental display standards established by the UDC. The display exceeds five (5) percent of the adjacent building floor area. This will require approval of an exception by the Planning and Zoning Commission (Subsection 02.03. F(4)(b), Art. 04, UDC)
- 2) Incidental Display Location Standards. The proposed display does not meet the incidental display standards established by the UDC for being located under a covered walkway, adjacent to the building, and not within the parking areas. Sections A and B and portions of F are not located under a covered sidewalk, with no indication of screening, and are located within the parking areas. This will require approval of an exception by the Planning and Zoning Commission (Subsection 02.03. F(4)(d), Art. 04, UDC).

I.4 To be able to request a variance, an applicant needs to provide a letter stating the justification for each exception requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the requested exception. Please also note that all of the requested exceptions will require a three-quarter majority vote for approval. Refer to Subsection 9.01, Exceptions to the General Standards, of Article 11, Development Applications and Review Procedures, of the UDC for examples of compensatory measures.

- Please provided a letter of explanation for the associated exceptions (i.e. there have been three (3) exceptions identified by staff) and the compensatory measures (i.e. six (6) compensatory measures required) justifying these exceptions as required by the UDC for consideration.

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on August 4, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 4, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 11, 2020 Planning & Zoning Regular Meeting.

I.17 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on July 28, 2020.
- 2) Planning & Zoning regular meeting/public hearing meeting will be held on August 11, 2020.

I.18 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. The City prefers that a representative(s) be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/24/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	07/22/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2020	Denied

07/21/2020: Show distance from fuel handling equipment to any combustible materials. A minimum of 10-feet is required from all combustible materials.

Show distance from propane storage to any combustible materials. A minimum of 10-feet is required from all combustible materials.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2020	N/A

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-015

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 715 W DUSK ST. ROCKWALL TX 75087

Subdivision STONEBRIDGE CENTER PH I, LOT PART OF 1 Lot _____ Block _____

General Location CORNER OF LAKESHORE DR / HWY 66

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning GENERAL RETAIL Current Use F1 - CONVENIENCE STORE

Proposed Zoning GENERAL RETAIL Proposed Use F1 - CONVENIENCE STORE

Acreage .483 Lots [Current] _____ Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>NATE COLBERT</u>	<input type="checkbox"/> Applicant	
Contact Person	<u>NATE COLBERT</u>	Contact Person	
Address	<u>715 W DUSK</u>	Address	
City, State & Zip	<u>ROCKWALL TX 75087</u>	City, State & Zip	
Phone	<u>214-304-0623</u>	Phone	
E-Mail	<u>COLBERTICE@GMAIL.COM</u>	E-Mail	

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared NATE COLBERT [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or intended to request for public information."

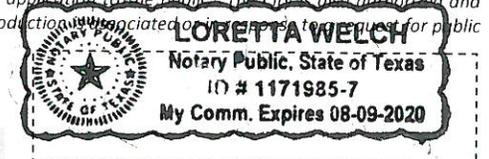
Given under my hand and seal of office on this the 24th day of JUNE, 2020.

Owner's Signature

N. Colbert

Notary Public in and for the State of Texas

LORETTA WELCH



My Commission Expires 08-09-2020



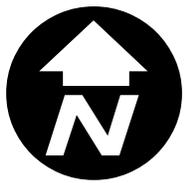
SP2020-015- INCIDENTAL DISPLAY FOR ONE STOP
SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

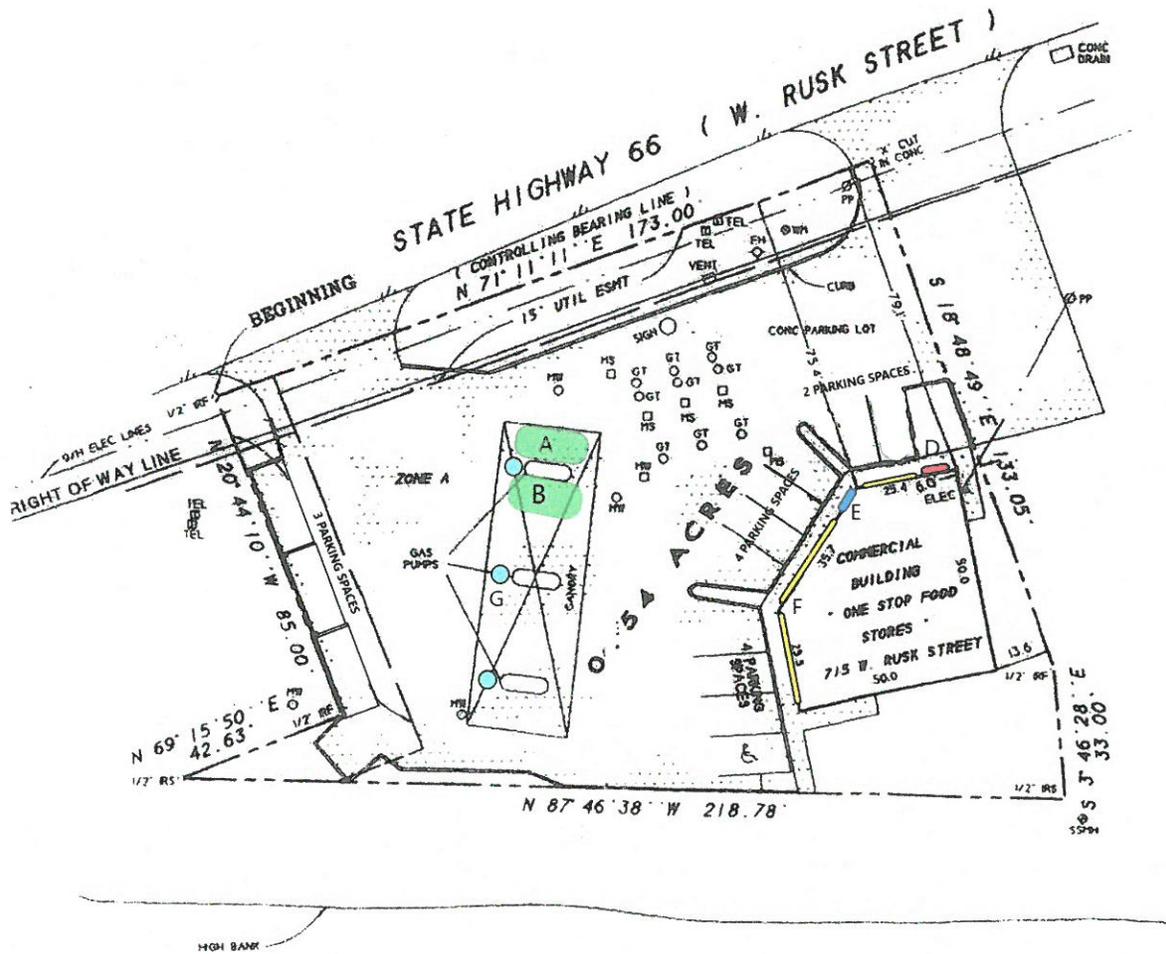


715 W RUSK, ROCKWALL TX
AMENDED SITE PLAN



- A 24'X12'FT HOME/GARDEN, SEASONAL, PLANTS, FRUITS AND VEGETABLES
- B 24'X12'FT HOME/GARDEN, SEASONAL, PLANTS, FRUITS AND VEGETABLES
- D 4'X3'FT PROPANE STORAGE
- E 6'X3'FT ICE VENDING
- F 85'X2'FT HOME/GARDEN, SEASONAL, PLANTS, FRUITS AND VEGETABLES
- G 4'X4'FT WATER, ICE, AUTO, DRINKS AND SNACKS

*NO FIRELANES WILL BE IMPEDED OR BLOCKED
 **NO REQUIRED PARKING WILL BE USED



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/24/2020

PROJECT NUMBER: SP2020-017
PROJECT NAME: Lot 2-R, Block A, Washington Place Addition
SITE ADDRESS/LOCATIONS: 407 W WASHINGTON ST, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-771-7740
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	07/24/2020	Needs Review

07/24/2020: SP2020-017; Site Plan for 407 W. Washington Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan or an office building on a 0.28-acre parcel of land identified as Lot 2-R, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 407 W. Washington Street.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2020-017) in the lower right-hand corner of all pages of all revised plan submittals. (§01.02(D), Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and the Development Standards of Article 05 and the Downtown (DT) District, which are applicable to the subject property. (§01.02(D), Art. 11, UDC)

I.5 Please note that a replat is required prior to the issuance of a building permit. Additionally, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

I.6 Signage Plan. Please note that all plans for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

M.7 A Site Data Table as found on Site Plan (i.e. density and dimensional requirements) is required to be placed on all plans submitted (i.e. site plan, landscape plan, photometric plan, treescape plan, etc.), with the exception of the building elevations. (§01.02(D), Art. 11, UDC)

M.8 Provide the standard signature block with signature spaces for the Planning & Zoning Chairman and Planning Director on all plans submitted. (§03.04.A, Art. 11, UDC)

M.9 The following items will require a recommendation from the Planning and Zoning Commission forwarded to the City Council for Major and Minor Waivers to the General District

Standards of the Downtown (DT) District and are as follows: (§04.07.C(2), Waivers of Design Standards, Art. 05, UDC)

A. Minor Waivers:

- 1) Establishment of Build-to-Line
- 2) Encroachment into the Build-to-Line
- 3) Design of building without Tri-partite architecture
- 4) Widow detailing
- 5) Required building entries along street edge

B. Major Waivers:

- 1) Parking requirements for required bicycle parking
- 2) Curtain Wall Glass located on south elevation

M.9 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§03.04, Art. 11, UDC):

- 1) Indicate the wall lengths of all buildings on the site. (§03.04.B, Art. 11, UDC)
- 2) Indicate the distance between all property lines and existing and planned buildings located on the site. (§03.04.B, Art. 11, UDC)
- 3) Indicate all building setbacks adjacent to right-of-way. The Downtown (DT) District requires a build-to-line of 24-feet. Indicate on plan the build-to-line. (§04.07.C(4)(d)(1), Build-To-Lines, Art. 05, UDC)
- 4) Indicate all utilities both existing and proposed. Provide labels for all easements (i.e. utility, detention, drainage, etc.) (§03.04.B, Art. 11, UDC)
- 5) Indicate all drive widths. Provide dimensions. (§03.04.B, Art. 11, UDC)
- 6) Indicate the street centerline for all existing and proposed streets. (§03.04.B, Art. 11, UDC)
- 7) Indicate location of all Fire Hydrants. (§03.04.B, Art. 11, UDC)
- 8) Provide a label for all Firelane to indicate "24-ft Firelane, Public Access, Drainage, & Utility Easement", as appropriate for existing and proposed. (§03.04.B, Art. 11, UDC)
- 9) Indicate and label the widths of all sidewalks existing and proposed for the site. The Downtown (DT) District requires a minimum 10-foot sidewalk for "Pedestrian Access". Label as Pedestrian Access. (§04.07.C(4), Table 3, Downtown District Standards for Pedestrian Access, Art. 05, UDC)
- 10) All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (Check w/ the Engineering Department).
- 11) Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material. (§03.02, Art. 06, UDC)
- 12) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. Dash-in RTU's and provide screening detail. (§01.05.C, Art. 05, UDC)
- 13) The Downtown (DT) District requires bicycle parking in order to encourage the use of bicycles. Refer to Bicycle Parking Standards for requirements. Major Waiver (§04.07.D, Parking, Art. 05, UDC)

M.8 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (Sec. 2, Art. 08, UDC):

- 1) Indicate the locations and dimensions of the required landscape buffers. SH-66 Overlay (SH-66 OV) requires a minimum 20-foot landscaper buffer. Dimension and provide a label for the landscape buffer. (§06.02.E.1.b, Art. 05, UDC)
- 2) Correct the Excerpts from Rockwall Landscape Standards for street landscaping. The subject property is located within the SH-66 Overlay (SH-66 OV) requires a minimum 20-foot landscaper buffer. (§06.02.E.1.b, Art. 05, UDC)
- 3) Correct the Landscape Plant Schedule of sheet L2.1 to indicate a minimum of 5-gallon size for all shrubs being considered. (§06.02.E.2, Art. 05, UDC)
- 4) No grade change in excess of two (2) inches shall be allowed within the drip line of any protected or featured tree unless adequate construction methods are approved beforehand. What measures are being taken for the protection of the critical root zones for the existing trees within the parking lot? (§07.05, Art. 09, UDC)

I.10 Treescapes Plan. According to Section 3.4, Treescapes Plan Review Process, of Article 09, of the UDC, The planning and zoning commission will review and approve or disapprove the treescapes plan. The decision of the Planning and Zoning Commission may be appealed to the city council. The treescapes plan requires approval by the Planning and Zoning Commission as submitted.

- 1) Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction. Use a heavier gray scale for contours and indicate all of the amenity center building footprint. (§03.01.E, Art. 09, UDC)
- 2) Tree Removal Schedule note indicates Tree #D (i.e. 26-inch Hackberry) has been determined to be diseased by Arborist. Please provide a copy of the letter of determination for relief of mitigation of this tree. (§01.03.B, Art. 09, UDC)

M.11 Photometric Plan. According to Section 3.3, Minimum Requirements, of Article 07, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. In this case, the submitted photometric plan conforms to the requirements of the UDC.

- 1) No light standard, light fixture, light pole, pole base or combination thereof shall exceed 20-feet in total height in any overlay district (i.e. SH-66 Overlay (SH-66 OV) District). Will there be parking lot lighting poles? If so, please provide cut sheets for pole design and lighting fixtures. (§06.02.G, Art. 05, UDC)

M.12 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:

- 1) Indicate all RTU units on the building elevations (i.e. dash-in) so that staff can ensure that they meet the screening requirements. (§06.02.C.3.a, Art. 05, UDC)
- 2) Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall. Provide a finish for the TPO roof that matches the exterior. (§04.01.A.1, Art. 05, UDC)
- 3) The columns indicated on the building elevations (i.e. north) do not indicate the type of materials being used. Are these brick columns as indicated on the color rendering. If not, consider using the brick columns. (Informational comment).

Based on the building elevations submitted, staff has identified the following major and minor waivers to the General District Standards of the Downtown (DT) District:

- 1) Building Form. All buildings shall be designed and constructed in tripartite architecture so that they have a distinct base, middle and top. Consider color variation of brick on lower portion building (i.e. distinct) and/or providing a complete wrap of the building with a cast stone accent. Minor Waiver Required. (§04.07.D(2)(a)(2), Art. 05, UDC)
- 2) Architectural Features. The proposed building requires approval of waivers to the following features:
 - a. Windows shall have at least a four (4) inch reveal and except for retail at grade, shall be vertical in proportion. Provide detail of 4" reveal. Minor Waiver. (§04.07.D(2)(b)(2), Art. 05, UDC)
 - b. No glass curtain wall shall be permitted except by approval of major waiver. Consider changing the curtain wall on the south elevation and match windows for the remainder of the building. Major Waiver. (§04.07.D(2)(b)(3), Art. 05, UDC)
 - c. Each building and separate lease space at grade along the street edge shall have a functioning primary entry from the sidewalk. Is there an entry for the North Elevation? Minor Waiver. (§04.07.D(2)(b)(4), Art. 05, UDC)

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on August 4, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 4, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 11, 2020 Planning & Zoning Meeting.

I.15 The Architectural Review Board (ARB) meeting will be held on July 28, 2020 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission.

I.16 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on July 28, 2020.
- 2) Architectural Review Board (ARB) meeting will be held on July 28, 2020.

- 3) Planning & Zoning meeting/public hearing meeting will be held on August 11, 2020.
- 4) Architectural Review Board (ARB) meeting will be held on August 11, 2020 (if required).

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 5:00 p.m. (ARB) and 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/24/2020	Needs Review

07/24/2020: M - Check the fire lane coverage. The fire lane may need to extend to the north property line.

M - Include a 10' Utility Easement along the frontage on Washington.

M - Must show and label all existing and proposed utilities.

M - Label the 24' Common Access Easement on the south property as Fire Lane per the plat.

M - Branch out the drive isle to the north property line as 24' wide.

M - Must have 2' clear overhang for 18' deep parking spaces. Shrubs must be 4' away.

M - No structures in easements.

M - Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height).

M - Parking to be 20'x9' for nose-to-nose and against the building. Other parking can be 18'x9' with a 2' clear overhang.

M - Dumpster area to drain to oil/water separator or grease trap, depending on use.

M - No trees within 5' of public utilities.

I - 4% Engineering inspection fees

I - Engineering review fees apply

I - Impact fees.

I - Min 20' utility easements.

I - Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls.

I - Detention was accounted for in the 405 W Washington plans.

I - No walls in utility esmts

I - 10' U.E Required along ROW

I - Will need TxDOT driveway and utility permits.

I - TIA required w/ fees (i)

I - Sidewalk pro-rata of \$28/LF of frontage on SH 66.

I - Must meet all city engineering standards.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	07/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2020	Denied

07/21/2020: Proposed new fire hydrants shall be indicated on the plans.

Existing fire hydrants to be considered for the use shall be indicated on the plans.

Plans shall reflect the required 1-hr fire rating for the east exterior wall and protected openings (windows) in accordance with the International Building Code.

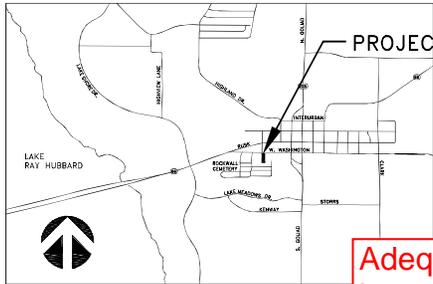
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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07/21/2020: No trees within 5' of underground utilities

There is a high risk of death or failure of the large 24" Hackberry, depending on the amount of root damage from parking lot install.



VICINITY MAP

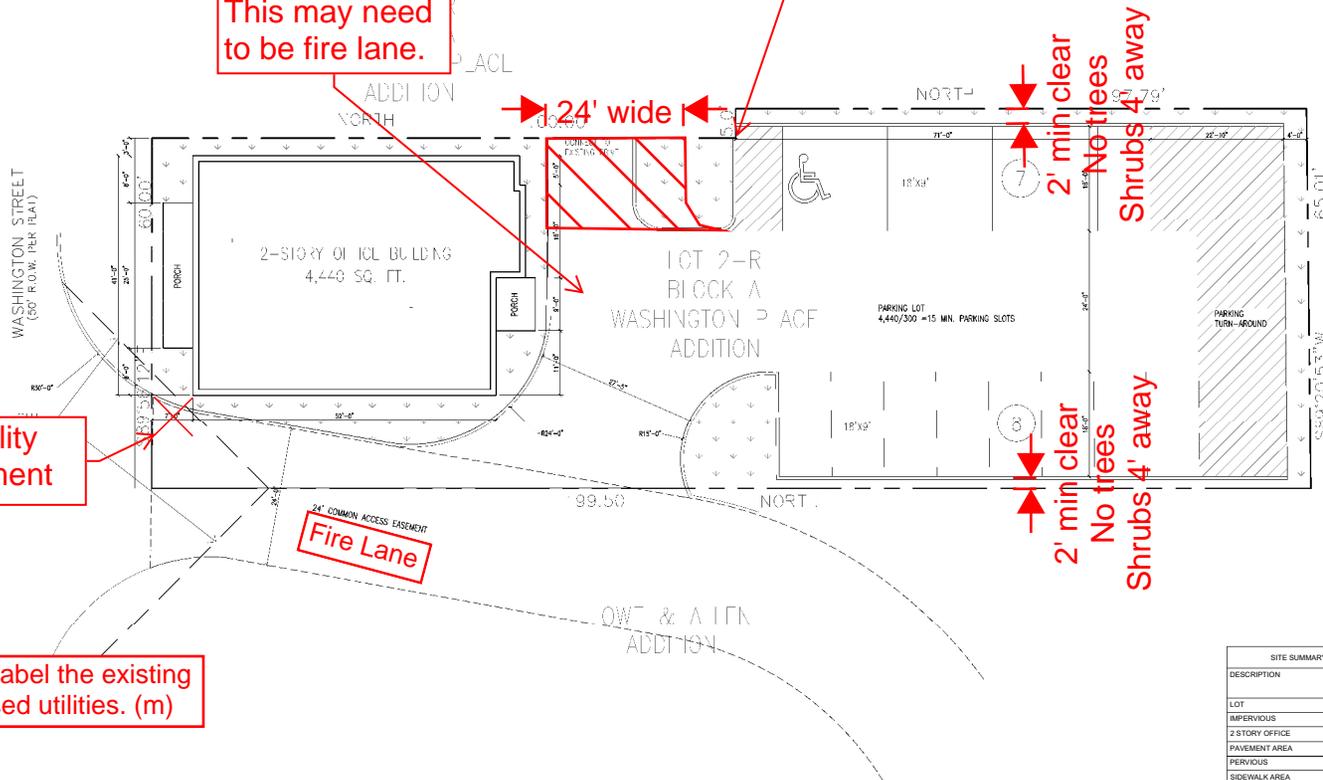
Adequate fire lane coverage? This may need to be fire lane.

Crossing property lines?

10' Utility Easement

24' COMMON ACCESS EASEMENT
Fire Lane

Show and label the existing and proposed utilities. (m)



- 4% Engineering inspection fees (i)
- Engineering review fees apply (i)
- Impact fees. (i)
- Min 20' utility easements. (i)
- No structures in easements. (m)
- Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height). (m)
- Parking to be 20'x9' for nose-to-nose and against the building. Other parking can be 18'x9' with a 2' clear overhang. (m)
- Dumpster area to drain to oil/water separator or grease trap, depending on use. (m)
- No trees within 5' of public utilities. (m)
- Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
- Detention was accounted for in the 405 W Washington plans. (i)
- No walls in utility esmts (m)
- 10' U.E Required along ROW (m)
- Will need TxDOT driveway and utility permits. (i)
- TIA required w/ fees (i)
- Sidewalk pro-rata of \$28/LF of frontage on SH 66. (i)
- Must meet all city engineering standards. (m)

SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION	AREA	LOT PERCENTAGE
LOT	12,383	100 %
IMPERVIOUS	10,084	81 %
2 STORY OFFICE	2,220	18%
PAVEMENT AREA	7,864	63 %
PERVIOUS	2,299	19%
SIDEWALK AREA	-	-
MAX. BUILDING HEIGHT PROPOSED	27'-6"	-
PARKING REQUIREMENTS		
OFFICE (1300 S.F.)	4,440 S.F.	-
PARKING PROVIDED	15	-
PARKING REQ'D	15	-

OWNER/DEVELOPER:
LMCC, LLC
JIMMY MCCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



SITE PLAN
SCALE: 1"=10'
0 10 20

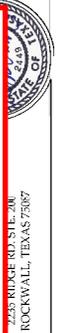
PROJECT NAME AND ADDRESS:
LMCC, LLC OFFICE
407 W WASHINGTON
ROCKWALL, TX 75087

PROJECT NO. _____
DRAWN BY _____
CHECKED BY _____
DATE: 07/17/2020
SCALE: 1" = 10'
SHEET NO. 01

DRAWING NAME:
SITE PLAN

S1.0

SP2020-0??





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]

CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 407 Washington St

Subdivision Washington Place

Lot 2-R Block A

General Location On Washington St west of downtown on south side CAD ID 55229

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Downtown

Current Use land

Proposed Zoning Downtown

Proposed Use office / rretail

Acreage .28

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Hwy 66 Properties LP

Applicant

Contact Person Jimmy McClintock

Contact Person

Address 3021 Ridge Road PMB 144

Address

City, State & Zip Rockwall TX 75032

City, State & Zip

Phone 972-983-2222

Phone

E-Mail imgc.rw@gmail.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

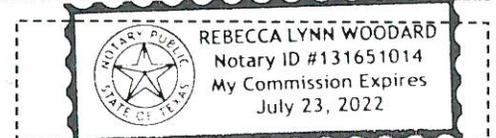
Before me, the undersigned authority, on this day personally appeared Jimmy McClintock [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 250, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of July, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16 day of July, 2020.

Owner's Signature [Signature]

Notary Public in and for the State of Texas [Signature]



My Commission Expires



SP2020-017- 409 W. WASHINGTON
 SITE PLAN - LOCATION MAP 

0 20 40 80 120 160 Feet
 SF-80

SECOND

WASHINGTON

DT

FIRST

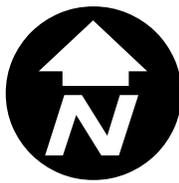
CEM



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD., STE. 200
 ROCKWALL, TEXAS 75087



DATE	REVISIONS	DESCRIPTIONS/ISSUE

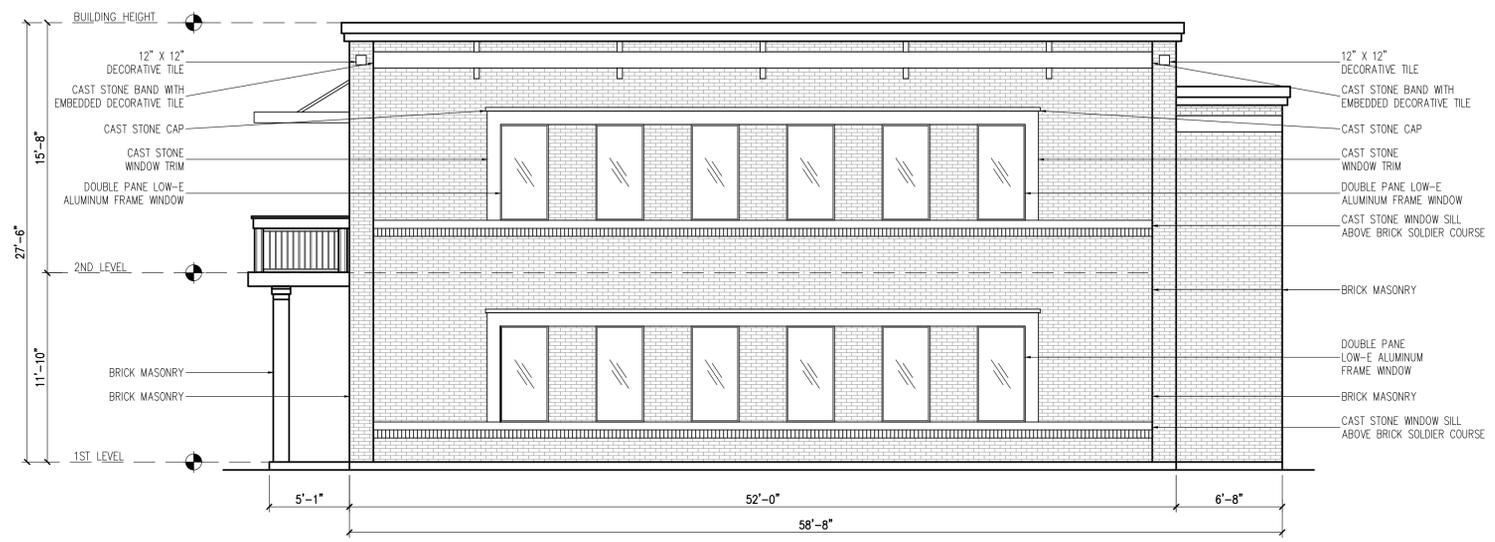
PROJECT NAME AND ADDRESS:
LMGC, LLC OFFICE
 407 W WASHINGTON
 ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	07/17/2020
SCALE	
SHEET NO.	of

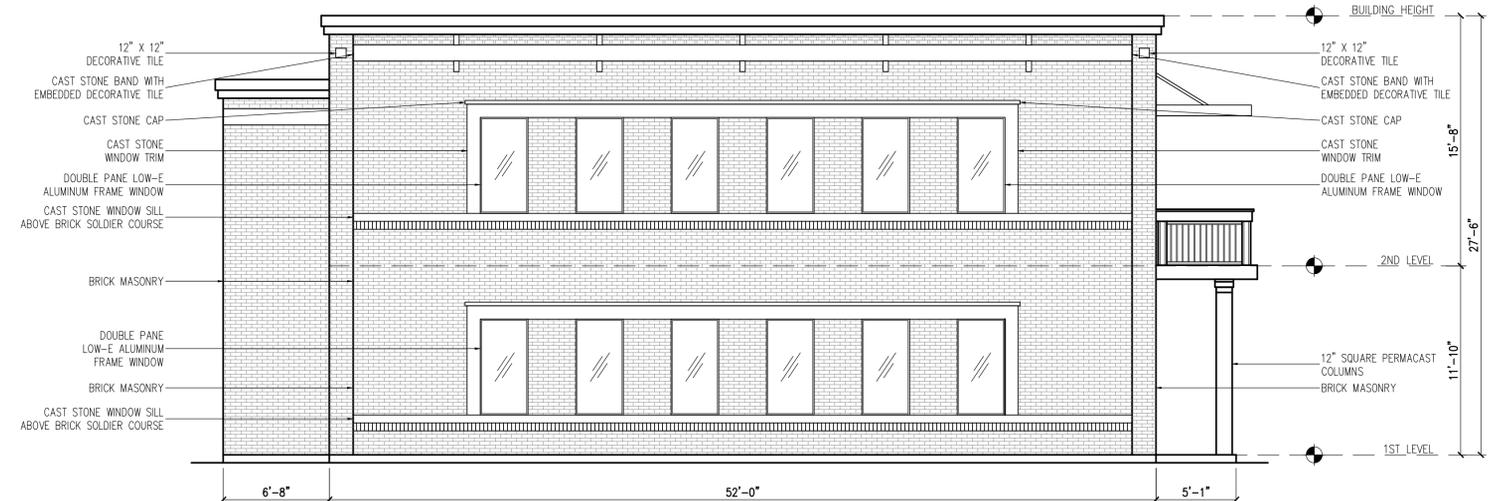
DRAWING NAME:
ELEVATIONS

A1.0

SP2020-0??



WEST ELEVATION
 SCALE: 3/16" = 1'



EAST ELEVATION
 SCALE: 3/16" = 1'

MATERIAL USAGE (%) - WEST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		216	
ACCOUNTABLE AREA		1,370	100%
MASONRY - BRICK		1,176	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - EAST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		216	
ACCOUNTABLE AREA		1,370	100%
MASONRY - BRICK		1,176	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - NORTH (FACING WASHINGTON)

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		264	
ACCOUNTABLE AREA		863	100%
MASONRY - BRICK		621	72%
CAST STONE		242	28%

MATERIAL USAGE (%) - SOUTH

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		219	
ACCOUNTABLE AREA		908	100%
MASONRY - BRICK		780	86%
CAST STONE		128	14%



NORTH ELEVATION (FACING W. WASHINGTON)
 SCALE: 3/16" = 1'



SOUTH ELEVATION
 SCALE: 3/16" = 1'



407 WEST WASHINGTON - FACING N



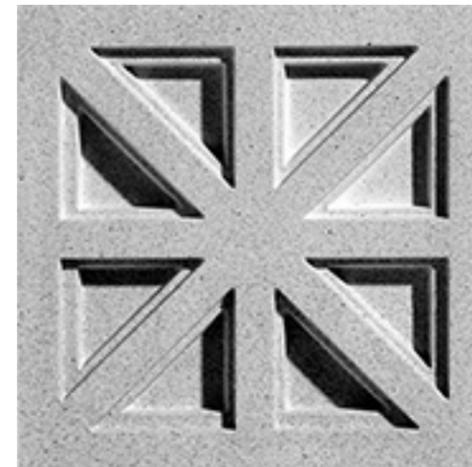
ACME BRICK - ACADEMY VELOUR
BETWEEN WINDOWS



CAST STONE
WINDOW SILL, BUILDING BASE
CROWN COURSE, BELT COURSE



ACME BRICK - GARNET VELOUR
MAIN PORTION

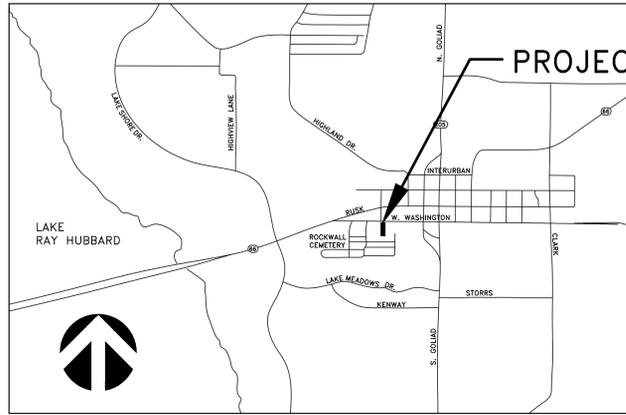


ENGINEERED CAST STONE
PINEAPPLE GROVE DESIGNS
8" FRIEZE (CROSS & JACK)

PROJECT ADDRESS:
407 W. WASHINGTON
ROCKWALL, TEXAS 75087

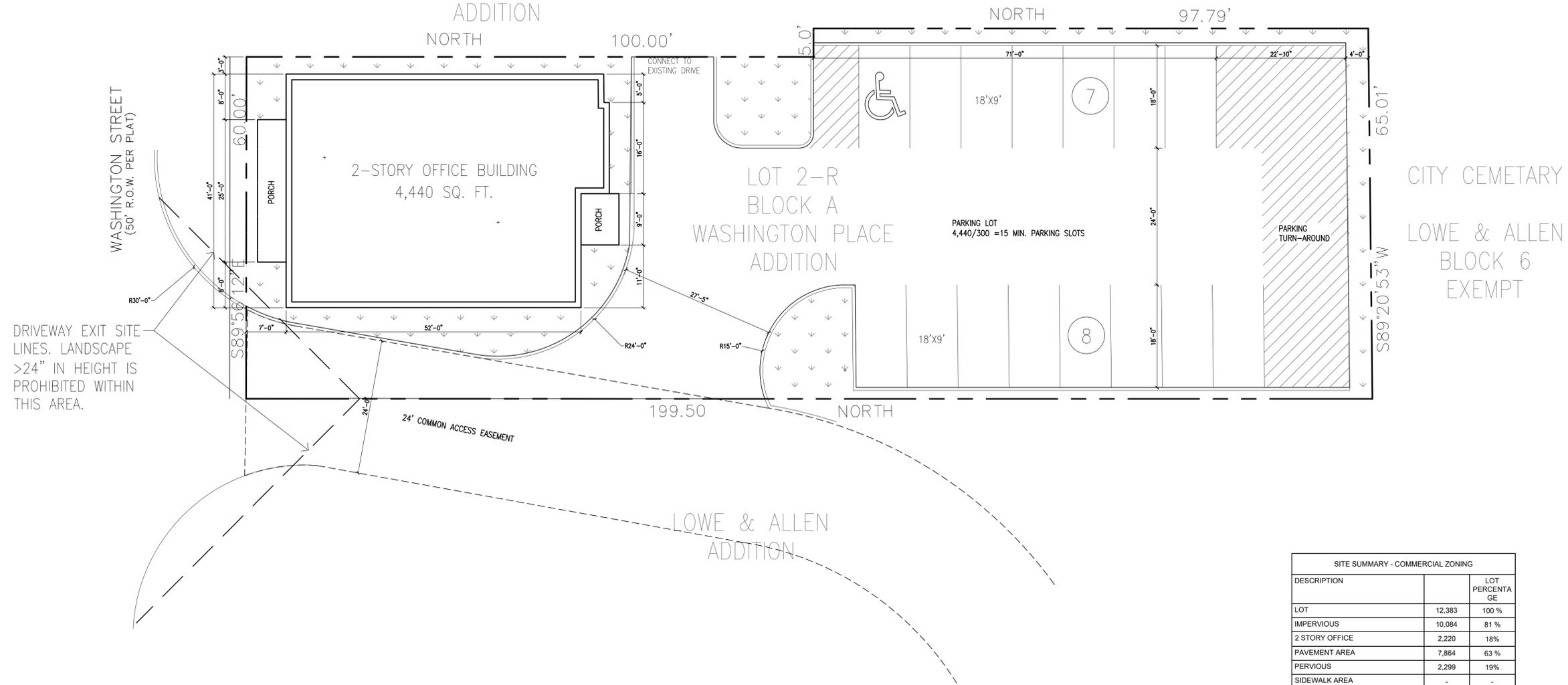
OWNER/DEVELOPER:
LMGC, LLC
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
RAMSAY & REYES, LLC
2235 RIDGE RD.
ROCKWALL, TEXAS 75032



VICINITY MAP

LOT 1-R
BLOCK A
WASHINGTON PLACE
ADDITION



DRIVEWAY EXIT SITE LINES. LANDSCAPE >24" IN HEIGHT IS PROHIBITED WITHIN THIS AREA.

CITY CEMETARY
LOWE & ALLEN
BLOCK 6
EXEMPT

SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION	AREA	LOT PERCENTAGE
LOT	12,383	100 %
IMPERVIOUS	10,084	81 %
2 STORY OFFICE	2,220	18%
PAVEMENT AREA	7,864	63 %
PERVIOUS	2,299	19%
SIDEWALK AREA	-	-
MAX. BUILDING HEIGHT PROPOSED	27'-6"	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,440 S.F.	
PARKING PROVIDED	15	
PARKING REQ'D	15	

OWNER/DEVELOPER:
LMGC, LLC
JIMMY McCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



SITE PLAN

SCALE: 1"=10'
0 10' 20'



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



NO.	DATE	REVISIONS

PROJECT NAME AND ADDRESS:
LMGC, LLC OFFICE
407 W WASHINGTON
ROCKWALL, TX 75087

PROJECT NO.	
DRAWN BY	
CHECKED BY	
DATE	07/17/2020
SCALE	1" = 10'
SHEET NO.	of

DRAWING NAME:
SITE PLAN

S1.0

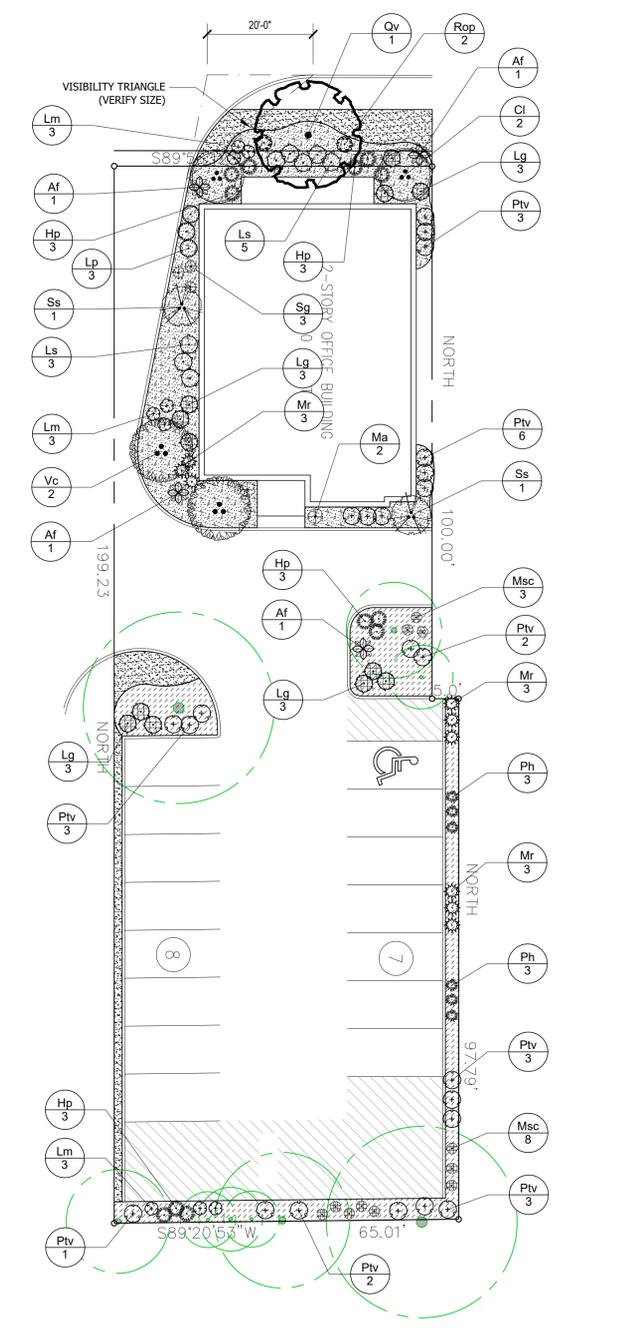
SP2020-0??

REQUIRED PLANTINGS

A. STREET TREES:
1 TREE FOR EVERY 50 L.F. OF FRONTAGE W Washington Street - 60 / 50 = 1.2
1 TREES REQUIRED
(2) 3" TREES AND
(1) 6" TREE PROVIDED

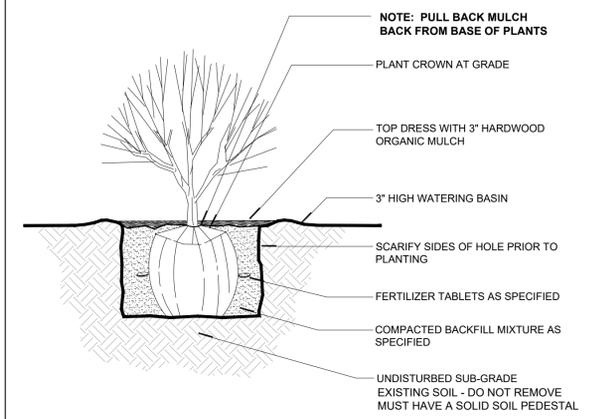
THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A 8 STATION SMART CONTROLLER WITH WI-FI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION, BACKFLOW, WYE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF ROCKWALL STANDARD IRRIGATION REQUIREMENTS.

NOTE:
NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES

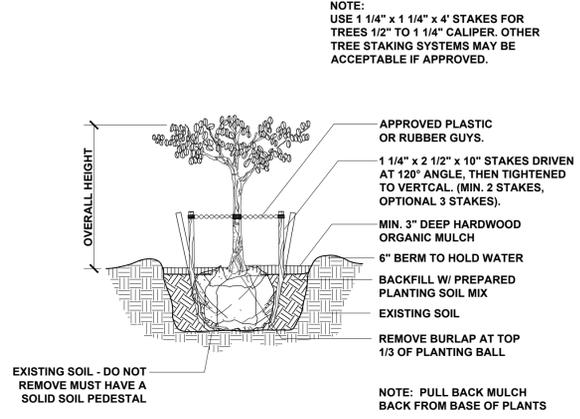


TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1 : 1)
SP	SECONDARY PROTECTED TREE	(1 : 0.5)
F	FEATURE TREE	(1 : 2)
D	DISEASED TREE PER ARBORIST	(1 : 0)



D SHRUB PLANTING DETAIL



E TREE PLANTING DETAIL

EXCERPTS FROM ROCKWALL LANDSCAPE STANDARDS:

Sec. 5.7. - Street landscaping.
A street landscape buffer-strip with a minimum width of ten feet, must be provided along the entire length of the property to be developed that is adjacent to a major arterial or collector street, as defined in the city's thoroughfare plan, exclusive of driveways and access-ways. Large trees, as herein defined, shall be provided in the required buffer in numbers equal to one tree for each 50 feet of street frontage.

Sec. 5.8. - Right-of-way landscaping requirements.
All street rights-of-way located adjacent to the proposed development shall be improved with grass or ground cover material and shall be maintained. It shall be the responsibility of the developer to design the irrigation system within the lot to ensure that the grass placed in the right-of-way is watered and maintained and to ensure that minimal water will enter the street itself. The designer of the irrigation system shall base the design on the ultimate proposed width of the street when designing the system. The plans for design of the irrigation system shall be approved by the city prior to installation.

Sec. 5.9. - Parking lot landscaping.
A. Any parking lot with more than two rows of spaces shall have a minimum of five percent or 200 square feet, whichever is greater, in the interior of the parking lot in landscaping. Such landscaping shall be counted toward the total landscaping.
B. If the parking and maneuvering space exceeds 20,000 square feet one large canopy tree for every ten required parking spaces shall be required internal to the parking lot. No tree shall be planted closer than 2½ feet to the pavement.
1. No required parking space may be located more than 80 feet from the trunk of a large canopy tree.
2. No tree may be planted closer than 2½ feet to the pavement.
3. All trees must be internal to the parking lot.

Sec. 5.11. - Dimensions of landscaping.
All required landscaping shall be no less than five feet wide and a minimum of 25 square feet in area unless it is within ten feet of the building.

Sec. 5.12. - Required landscaping.
A. Amount of landscaping.
1. Minimum square footage requirements for landscaping shall be provided and maintained in the zoning districts set forth as follows. The requirements shall be applied to the total site area to be developed:

Commercial	15	10
------------	----	----

2. The total site area required for landscaping may be reduced by no more than five percent in accordance with the provisions of section 6. For example, the required percentage of 15 percent for commercial zoning could be reduced to a total of ten percent under the terms of section 6.
B. Location of landscaping. No less than 50 percent of the total requirement shall be located in front of and along side buildings with street frontage in the following zoning districts: "MF-14," "RO," "NS," "GR," "C" and "RT." One hundred percent of the total requirement shall be located in front of and along side buildings with street frontage in the following zoning districts: "HC," "LI," "HL."
C. Detention basins. Detention basins shall be landscaped in a natural manner using ground cover, grasses, shrubs and trees in all dry land areas. There shall be a minimum of one tree for each 750 square feet of dry land area.

SECTION 6. - LANDSCAPE CREDITS
Credits toward achieving landscape requirements may be achieved as follows.
Sec. 6.1. - Credit for required landscape buffer-strips between residential and nonresidential zoning.
The overall landscaping requirement may be reduced by 2.5 percent when the buffer-strip, whether required or not, has a minimum average width of 15 feet or greater and contains at least one large tree every 40 feet, or large shrubs at least every ten feet the entire length of the perimeter adjacent to property with residential zoning. This perimeter must equal at least 25 percent of the total perimeter of all adjacent private property.
Sec. 6.2. - Credit for surface parking screening.
The overall landscaping requirement may be reduced by 2.5 percent when a surface parking lot located adjacent to a public street is screened as follows:
A. The screen must be voluntary, not required by this Unified Development Code.
B. The screening must be located along the entire length of street frontage of the parking lot, exclusive of driveways, accessways, and visibility triangles. Visibility triangles will be maintained at all driveway intersections.
C. The screening must be at least three feet in height utilizing only evergreen planting materials, berms, and/or masonry walls.
D. The adjacent street must be generally at the same grade level of the parking lot or below for such credit to qualify.
Sec. 6.3. - Credit for right-of-way landscaping. ROCKWALL LANDSCAPE STANDARDS
The overall landscaping requirement may be reduced by 2.5 percent when the public right-of-way adjacent to a proposed development is landscaped meeting the following requirements:
A. All landscaping in the right-of-way shall be provided sufficient irrigation for maintenance.
B. Plants used in landscaping in the right-of-way shall only be varieties included on the approved plant list.
C. The plan for landscaping in right-of-way shall be submitted and approved by the city prior to any work being done in the right-of-way.
D. In certain cases, the city may determine that landscaping in the right-of-way may be infeasible and in such cases this credit shall not apply.
E. Landscaping shall include ground cover, shrubs, trees and/or other plant materials and must cover at least 50 percent of the adjacent right-of-way, exclusive of driveways, to qualify for this credit. Grass alone shall not qualify for this credit.
F. If the city has an adopted landscape plan for the street adjacent to the proposed project, any proposed improvements must be in compliance with said plan.
Sec. 6.4. - Credit for xeriscaping.
The overall landscaping requirement may be reduced by 2.5 percent when the planning director or his/her designee determines that the standards stipulated by section 5.10, xeriscaping standards, of this article have been satisfied.

B CITY OF ROCKWALL LANDSCAPE REQUIREMENTS

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	CI	Chilopsis l 'Lucretia Hamilton' / Desert Willow 3" cal. * ROCKWALL APPROVED TREE	B & B	2
	Qv	Quercus virginiana / Southern Live Oak 6" cal. * ROCKWALL APPROVED TREE	B & B	1
	Ss	Sophora secundiflora / Texas Mountain Laurel 2" cal.	20" Box	2
	Vc	Vitex agnus-castus / Chaste Tree 3" cal.	B & B	2
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Hp	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT	3 gal	12
	Lm	Lantana montevidensis 'New Gold' / Gold Lantana	3 gal	9
	Lg	Leucophyllum frutescens 'Green Cloud' / Texas Ranger * ROCKWALL APPROVED PLANT	3 gal	12
	Ls	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum	3 gal	8
	Lp	Loropetalum chinense 'Purple Diamond' / Fringe Flower * ROCKWALL APPROVED PLANT	3 gal	3
	Msc	Mahonia 'Soft Caress' / Soft Caress Mahonia	3 gal	11
	Ma	Miscanthus sinensis 'Adagio' / Dwarf Maiden Grass * ROCKWALL APPROVED PLANT	3 gal	2
	Mr	Muhlenbergia capillaris / Muhly Grass * ROCKWALL APPROVED PLANT	3 gal	9
	Ph	Pennisetum a. 'Hameln' / Dwarf Fountain Grass * ROCKWALL APPROVED PLANT	3 gal	6
	Ptv	Pittosporum tobira 'Variegata' / Variegated Mock Orange	3 gal	23
	Rop	Rosmarinus officinalis 'Prostratus' / Trailing Rosemary * ROCKWALL APPROVED PLANT	1 gal	2
	Sg	Salvia greggii 'Pink' / Pink Autumn Sage	3 gal	3
CACTI	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Af	Agave ovatifolia 'Frosty Blue' / Whale's Tongue Agave	5 gal	4
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	Ch	Cynodon dactylon '419 Hybrid' / Bermuda Grass * ROCKWALL APPROVED PLANT	sod	438 sf
	Hm	Hardwood / Mulch	2" deep	919 sf
	Tb	Tejas Black / 5/8"	2" deep	1,156 sf

C PLANT SCHEDULE

TREES TO BE PRESERVED

TREE PROTECTION SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
01	Quercus sp	Oak	PROTECTED	STANDARD	12"	1:1	12"	PROTECT
02	Fraxinus texensis	Texas Ash	PROTECTED	STANDARD	8"	1:1	8"	PROTECT
03	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1:0.5	12"	PROTECT
04	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1:0.5	12"	PROTECT
05	Carya texana	Black Hickory	PROTECTED	STANDARD	17"	1:1	17"	PROTECT
06	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1:0.5	3.5"	PROTECT
07	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	8"	1:0.5	4"	PROTECT
08	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1:0.5	3.5"	PROTECT
09	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	13"	1:0.5	6.5"	PROTECT

TOTAL CALIPER INCHES OF TREES TO BE PRESERVED: 78.5"

TREES TO BE REMOVED

TREE REMOVAL SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
A	Quercus sp	Oak	PROTECTED	STANDARD	12"	1:1	12"	REMOVE
B	Lagerstroemia indica	Crape Myrtle	PROTECTED	MULTI	9"	1:1	9"	REMOVE
C	Quercus sp	Oak	PROTECTED	STANDARD	9"	1:1	9"	REMOVE
D	Celtis occidentalis	Hackberry	DAMAGED	STANDARD	26"	1:0.0	0"	REMOVE
E	Ligustrum lucidum	Glossy Privet	PROTECTED	MULTI	12"	1:1	12"	REMOVE
F	Zanthoxylum clava-herculis	Tickle Tongue Tree	PROTECTED	STANDARD	7"	1:1	7"	REMOVE
G	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	16"	1:0.5	8"	REMOVE

TOTAL CALIPER INCHES OF TREES TO BE REMOVED: 57"

57 x 20% = 11.4 - 11" minimum to be planted as mitigation

A licensed arborist has determined that tree 'D' is diseased and should be removed to prevent property damage.

The intent of this drawing is to show existing trees to be preserved or removed in order to develop the proposed project. Property owner will be responsible for any fees or penalties owed at the discretion of The City of Rockwall. Demolition contractor is responsible for ensuring all required permits and paperwork from the City of Rockwall are in place before beginning demolition.

Refer to The City of Rockwall - Article IX - TREE PRESERVATION

also The City of Rockwall - Article VIII - LANDSCAPE STANDARDS

THERE IS ONE EXISTING FEATURE TREES ON THIS SITE (ie. 25" caliper or more of the protected species) THAT TREE IS TO BE REMOVED - THE TREE IS DAMAGED AND ROTTING.

NOTE:
ALL BOUNDARY TREES ALONG THE SOUTH PROPERTY LINE ARE TO REMAIN. PROTECT ANY TREES THAT ARE CLOSE PROXIMITY TO GRADING OR CONSTRUCTION ACTIVITIES.

SECTION 5. - TREE MITIGATION REQUIREMENTS

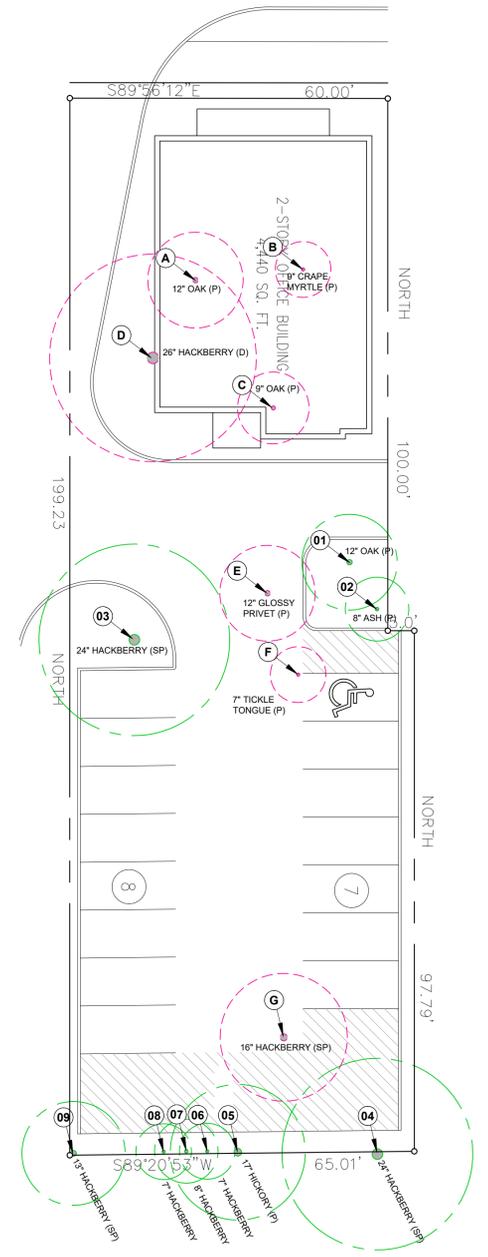
The tree mitigation requirements shall apply for all properties that do not fall under the exemptions listed in section 1.3, Exemptions, of this article. In addition, if a treescape plan or tree removal permit allows for the removal of a protected or feature tree(s), the applicant and/or property owner shall account for the number of inches of tree being removed using the following criteria:

- Primary protected trees.** Primary protected trees measuring four inches through 25 inches DBH shall be replaced on an inch-for-inch basis (i.e. the total number of caliper inches of tree being replaced shall equal the total number of caliper inches being removed).
- Secondary protected trees.** Hackberry and cedar trees measuring 11 inches through 25 inches DBH shall be replaced with a half-inch for every inch removed (i.e. the total number of caliper inches of tree required to be replaced shall be half (1/2) of the inches being removed).
- Featured trees.** Featured trees (i.e. all trees greater than 25 inches) shall be replaced with twice the number of inches being removed (i.e. the total number of caliper inches of tree being replaced shall be twice the number of caliper inches being removed).
- Non-protected tree.** No mitigation will be required for the removal of any tree that is less than four inches DBH or less than 11 inches DBH for hackberry and cedar trees. In addition, no mitigation shall be required for the removal of Bois d'Arc, willow, cottonwood, locust and Chinaberry trees.
- Tree preservation credits.** For each saved oak, pecan or elm tree(s) 25 inches DBH or greater the mitigation balance can be reduced on an inch-for-inch basis for up to 20 percent of the total mitigation balance (i.e. total mitigation balance x 20 percent = Total eligible tree preservation credit).
- Mitigation balance.** The total mitigation balance (i.e. mitigation balance - tree preservation credits = total mitigation balance) may be satisfied through one or a combination of the following:
 - The developer/property owner can provide the required number of trees--three-inch caliper DBH minimum--on the subject property to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be planted on-site to satisfy the mitigation requirements).
 - The developer/property owner may petition the parks and recreation department to accept the required number of trees--three-inch caliper DBH minimum--to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be submitted to the parks and recreation department to satisfy the mitigation requirements). Depending on the number of trees being submitted the director of parks and recreation or his/her designee could require a facilities agreement be approved prior to accepting the trees.
 - Tree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20 percent of the total replacement inches (e.g. if total mitigation required was 100 inches the developer/property owner could pay a total of \$4,000.00 (i.e. (20% x 100) x \$200.00 = \$4,000.00) into the city's tree fund; however, the developer/property owner would still be required to satisfy a remaining tree mitigation balance of 80 inches). In addition, if the developer/property owner plants a tree on (i) the property for which the tree preservation credit was assessed or (ii) a location that is mutually agreed upon by the city and the developer/property owner, the developer/property owner shall be eligible for a reduction in the cost of tree preservation credits of up to 50 percent. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.
 - Trees required by article VIII, landscape standards, of this Unified Development Code shall be permitted to be subtracted from the total mitigation balance if provided on site as part of the required landscaping.
- Alternative tree mitigation settlement agreements.** In certain cases, the city council--upon recommendation from the planning and zoning commission--may consider an alternative tree mitigation settlement agreement where, due to hardship, the applicant is unable to meet the requirements of this article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.

TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1:1)
SP	SECONDARY PROTECTED TREE	(1:0.5)
F	FEATURE TREE	(1:2)
D	DISEASED TREE PER ARBORIST	(1:0)

W WASHINGTON STREET



SCALE: 1/16" = 1'-0"

407 W WASHINGTON LANDSCAPE PLANS

Landscape Architecture
TX #3629 NV #583
2617 Jasmine Lane
Plano, TX 75074
voice (702) 339-0825
mike@mayerdesignstudio.com



REVISIONS	DATE	BY

TREESCAPE PLAN

JOB: LMGC, LLC OFFICE
407 W WASHINGTON ST
ROCKWALL, TX 75087

20-10-103

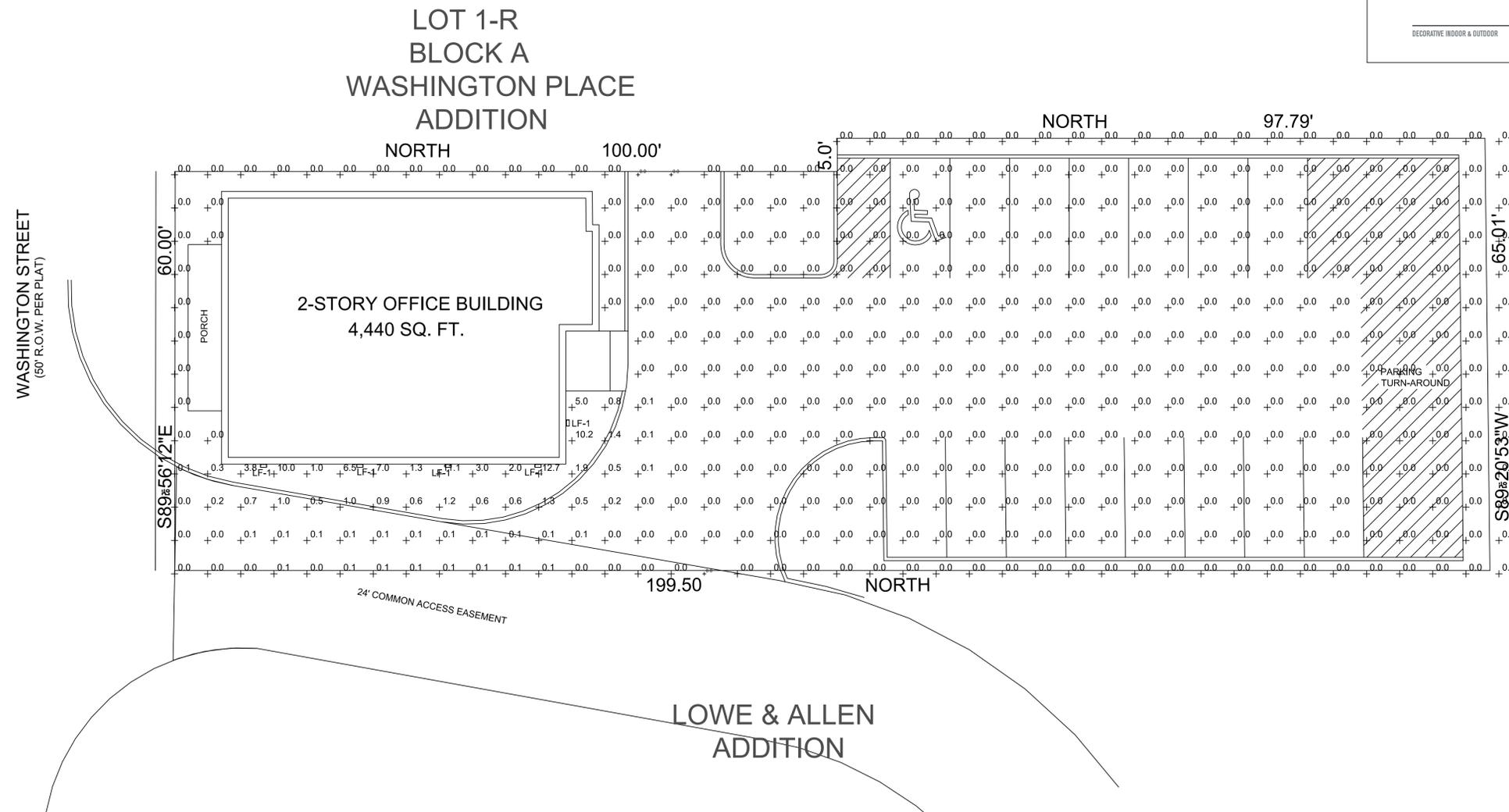
JULY 16, 2020

L1.1

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B SCHEDULE AND NOTES

A TREESCAPE PLAN



Catalog Number: **LF-1**
 Notes: **COLOR - BLACK**
 Type: **UP & DOWN LIGHT**

FEATURES & SPECIFICATIONS

INTENDED USE:
Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION:
Cast aluminum housing with corrosion-resistant paint in either dark bronze or white finish. ADA compliant.

OPTICS:
4000K CCT LEDs.
Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL:
MVOLT driver operates on any line voltage from 120-277V
Operating temperature: -30°C to 40°C
18V surge protection standard.

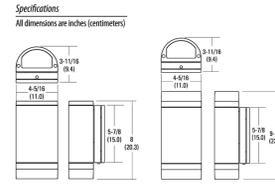
INSTALLATION:
Surface mounts to universal junction box (provided by others).

LISTINGS:
UL Listed to U.S. and Canadian safety standards for wet locations.
Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY: - 5-year limited warranty. Complete warranty terms located at: www.aaculbrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

**Outdoor General Purpose
OLLWD & OLLWU
LED WALL CYLINDER LIGHT**



ORDERING INFORMATION: For shortest lead times, configure products using **bolded options**. **Example:** OLLWD LED P1 40K MVOLT DDB

Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWD LED Downlight	P1	40K 4000K	MVOLT 120V-277V	DDB Dark bronze
OLLWU LED Up & downlight			120V 120V	WH White

Notes:
 1. Only available with OLLWU and in DDB.
 2. Only available with OLLWU.

DECORATIVE INDOOR & OUTDOOR

OLLWD-OLLWU



ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD., STE. 200
 ROCKWALL, TEXAS 75087



DATE	REVISIONS	DESCRIPTIONS/ISSUE

PROJECT NAME AND ADDRESS:
LMGC, LLC OFFICE
 407 W WASHINGTON
 ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	07/17/2020
SCALE	
SHEET NO.	of

DRAWING NAME:
PHOTOMETRIC PLAN

P1.0

SP2020-0??



PHOTOMETRIC PLAN

SCALE: 1"=10'

